

Preliminary Architectural Report

For



Greensville County Courthouse Security Enhancement Project Greensville County Government Center Campus

Prepared for:

GREENSVILLE COUNTY BOARD OF SUPERVISORS

Peggy R. Wiley – Chairman

Michael W. Ferguson – Vice-Chairman

James C. Vaughan

Margaret T. Lee, Ed.D.

Coordinated by:

K. David Whittington – County Administrator

Charles M. Veliky – Chief Building Official

Sheriff James R. Edwards, Jr.

Major William T. Jarratt, Jr.

December 30, 2014

**BAXTER BAILEY
& ASSOCIATES**

ARCHITECTS

11 East Franklin Street
Richmond, VA 23219

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Richmond, VA 23219

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Preliminary Architectural Report For Greensville County Courthouse Security Enhancement Project

A. Need for the Facility

The current Greensville County Courthouse was constructed circa 1834, with massive alterations being done throughout the years to make the building what it is today. Most recent renovations were completed in 1996, which included but are not limited to, foundation and structural reinforcements, and new additions which included an on-slab wing on each end and rear of the existing building. The courthouse currently serves both Greensville County and the City of Emporia, and houses the Circuit Court, General District Court, and the Juvenile and Domestic Courts of both jurisdictions. With the courthouse being used by both jurisdictions, the building is presently incapable of meeting security requirements as outlined in the 2006 Security Assessment provided by the Virginia Judicial Security Initiative.

The need for this courthouse security enhancement project is further made apparent by the deficiencies set forth by Sheriff Edwards and key staff members. Deficiencies include but are not limited to the following: (a) the deputies providing courthouse security cannot see beyond the front door to monitor pedestrian traffic as it approaches the front door; (b) the front door is adjacent to the control station at which the deputies providing courthouse security are located; (c) there is no protection for the deputies providing courthouse security; (d) there is no control of flow into the courthouse; (e) there is, on a frequent basis, a line of individuals from the control station out of the front door to the exterior of the building; (f) there is only a metal detector at the control station; And (g) no x-ray equipment can be provided due to small space allotted to the control station.

Ultimately, the Sheriff and staff find there is a pressing need for critical security enhancements through expansion and realignment of the entry functions of the current facility.

B. Existing Facility

Presently, the Greenville County Courthouse is housed in a relatively comfortable and modern context, with major additions and renovations being completed in 1996. It is located on the 300 block of South Main Street in Emporia, Virginia, within Court Square. The current facility, while in good maintenance and repair, is stressed by security and circulation deficiencies, most notably at the front entrance of the courthouse.

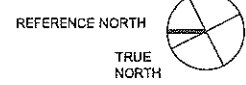
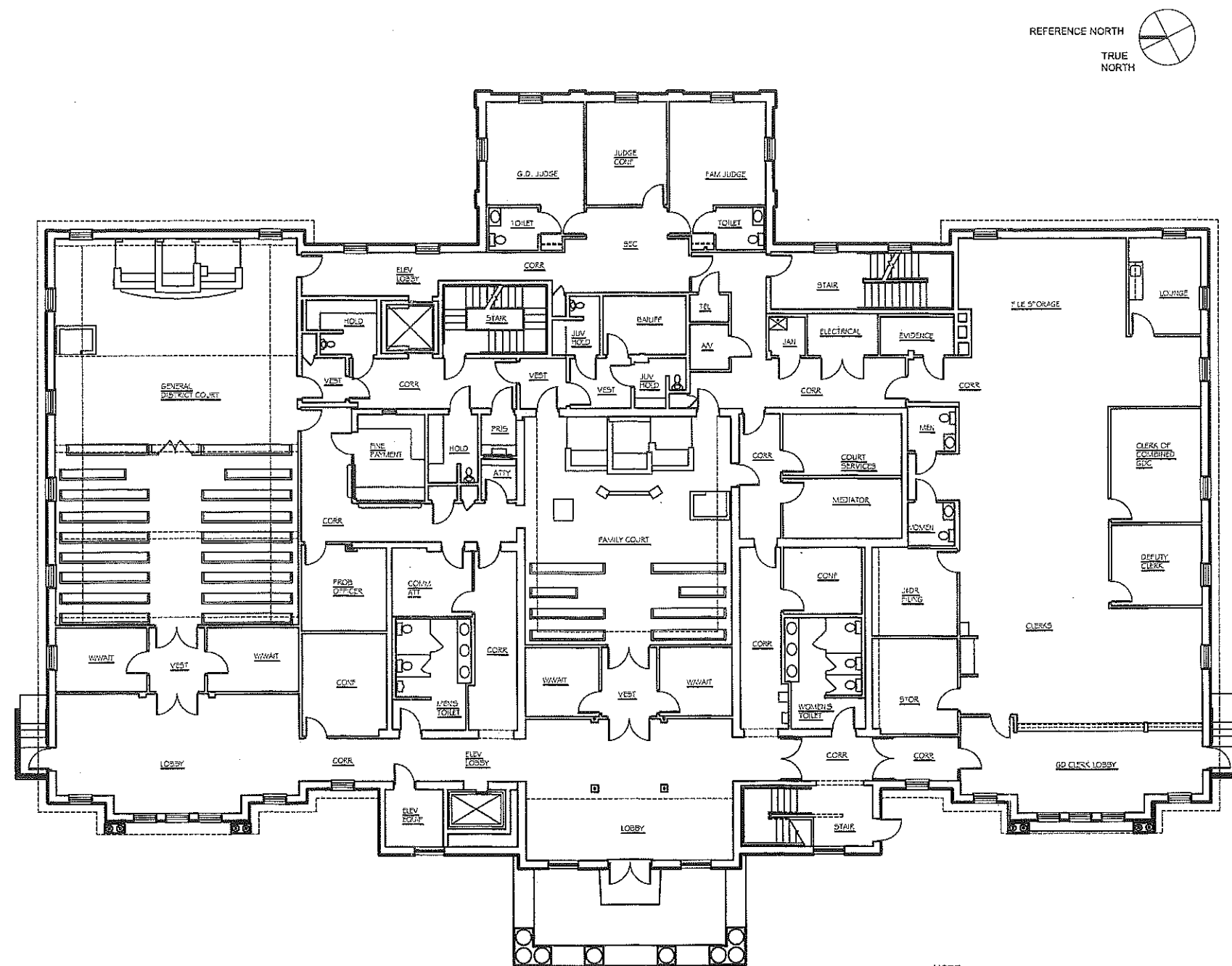
The existing facility is of pleasing appearance and thus provides a dignified and respectful centerpiece for its mission of law and justice. The existing facility is in good-to excellent condition as regards to the structure proper. The supportive mechanical and electrical system at 18 years are towards the end of their overall life expectancy. Through strategic maintenance, these existing systems can/should remain in use until the end of their life cycle, all for optimal cost/benefit. The facility houses the Circuit Court, General District Court, and the Juvenile and Domestic Courts for both the City of Emporia and Greenville County. Due to the stress of accommodating all courts, the building should/must be security enhanced to meet current standards of performance.

All in all, the present building and its grounds are in excellent condition, and is a good candidate to receive the proposed security enhancements requested.

As a function of the pre-design considerations, the existing Relationship of Spaces has been set out by the design team. With concurrence of the stakeholders, it has been determined that the overall space needs, relationships, and pathways are now sufficiently met, with the exception of the critical entry security issues noted.

...

Attached are the Existing Space Needs and Relationships, Existing Key Plan, first, second and basement floor plans, and West elevation, which illustrates the current flow and layout of spaces within the existing.



existing first floor plan
SCALE: 1" = 20'

NOTE:
EXISTING DATA SHOWN WAS TAKEN
FROM ORIGINAL RENOVATION DRAWINGS
BY HAYES, SEAY, MATTERN & MATTERN
INC., CIRCA OCTOBER 1995

ESTIMATED SQUARE FOOTAGE:
15,608 s.f.

EXISTING CONDITIONS:
preliminary drawings

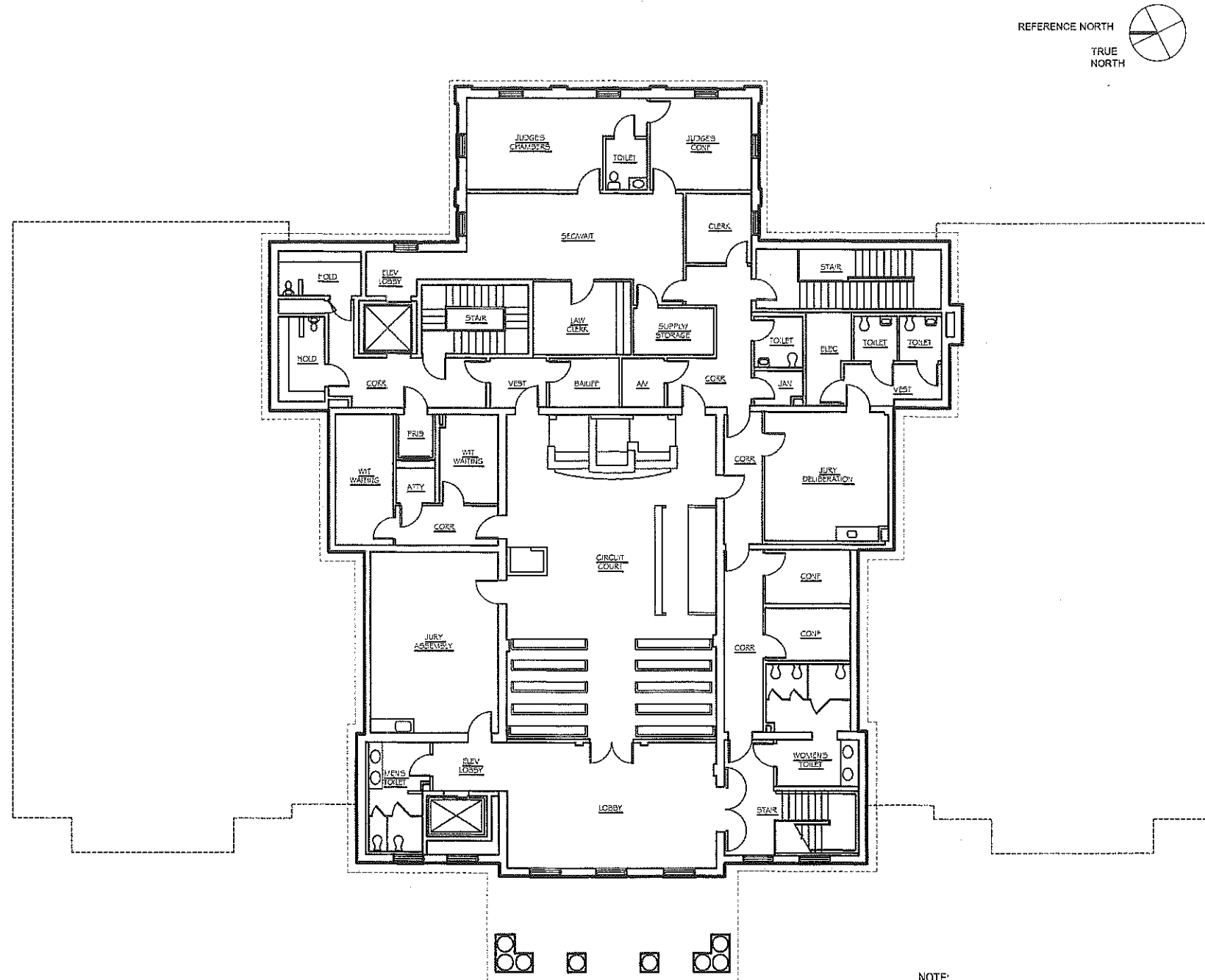
Owner:
GREENSVILLE COUNTY BOARD OF SUPERVISORS
K. David Whittington, County Administrator
GREENSVILLE COUNTY
James R. Edwards, Jr., Sheriff
GREENSVILLE COUNTY

PRELIMINARY ARCHITECTURAL REPORT
**GREENSVILLE COUNTY COURTHOUSE
SECURITY ENHANCEMENT PROJECT**
COURT SQUARE/MAIN STREET
EMPORIA, VIRGINIA

DATE: 11/15/14
JOB NUMBER: J-268-14

DRAWN BY: MPN
CHECKED BY: JBB

REVISIONS:



NOTE:

EXISTING DATA SHOWN WAS TAKEN
FROM ORIGINAL RENOVATION DRAWINGS
BY HAYES, SEAY, MATTERN & MATTERN
INC., CIRCA OCTOBER 1995

ESTIMATED SQUARE FOOTAGE:

8,027 s.f.

existing second floor plan

SCALE: 1" = 20'

EXISTING CONDITIONS:
preliminary drawings

BAXTER BAILEY & ASSOCIATES
ARCHITECTS
A PROFESSIONAL CORPORATION
11 EAST FRANKLIN STREET, RICHMOND, VIRGINIA 2319
(804) 343-1828 FAX (804) 343-1870

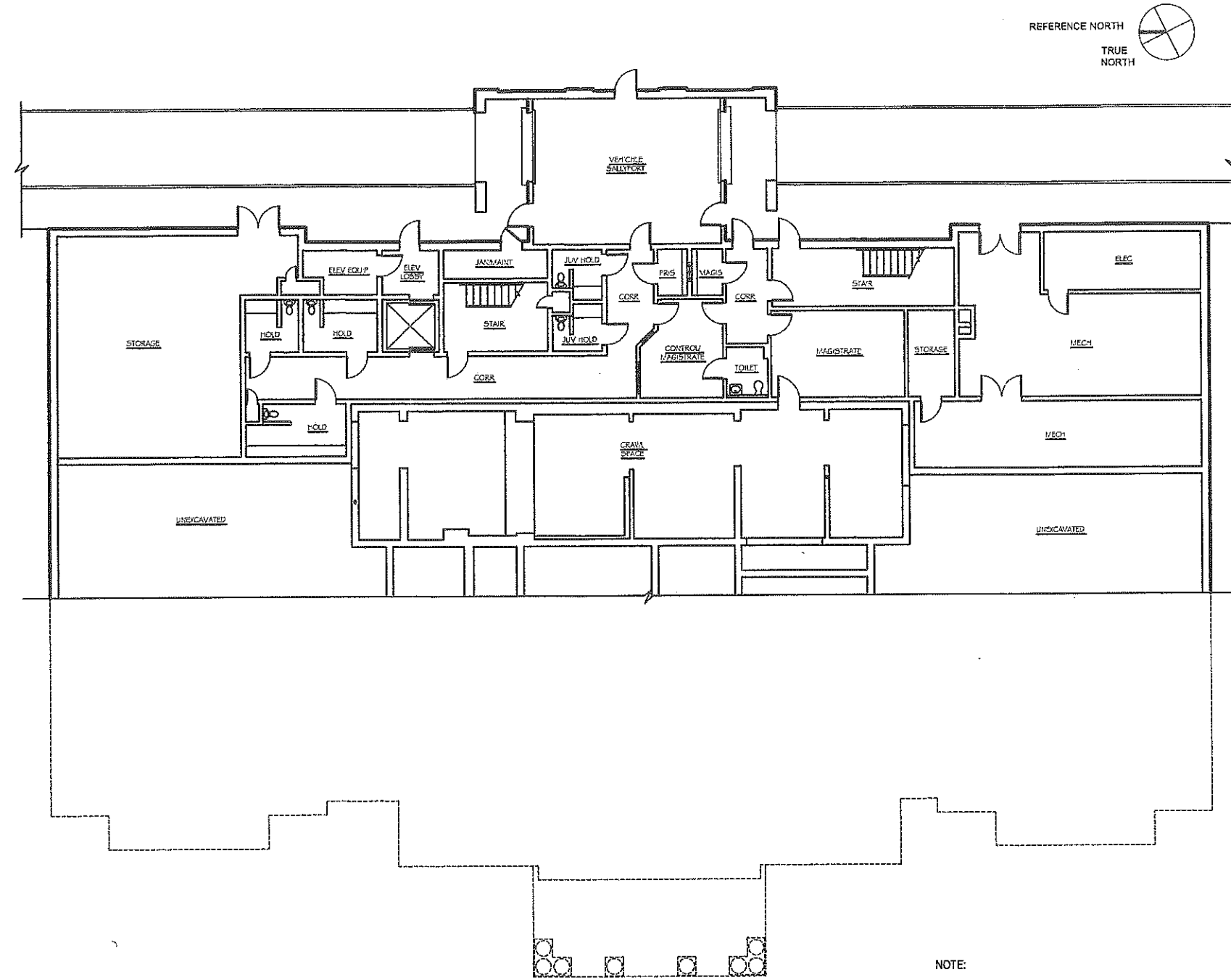
OWNER: GREENVILLE COUNTY BOARD OF SUPERVISORS
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James R. Edwards, Jr., Sheriff
GREENVILLE COUNTY

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GREENVILLE COUNTY COURTHOUSE
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DATE: 11/15/14
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CHECKED BY: JBB

REVISIONS:



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INC., CIRCA OCTOBER 1995

ESTIMATED SQUARE FOOTAGE:

5,817 s.f.

existing basement floor plan
SCALE: 1" = 20'

EXISTING CONDITIONS:
preliminary drawings

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GREENSVILLE COUNTY

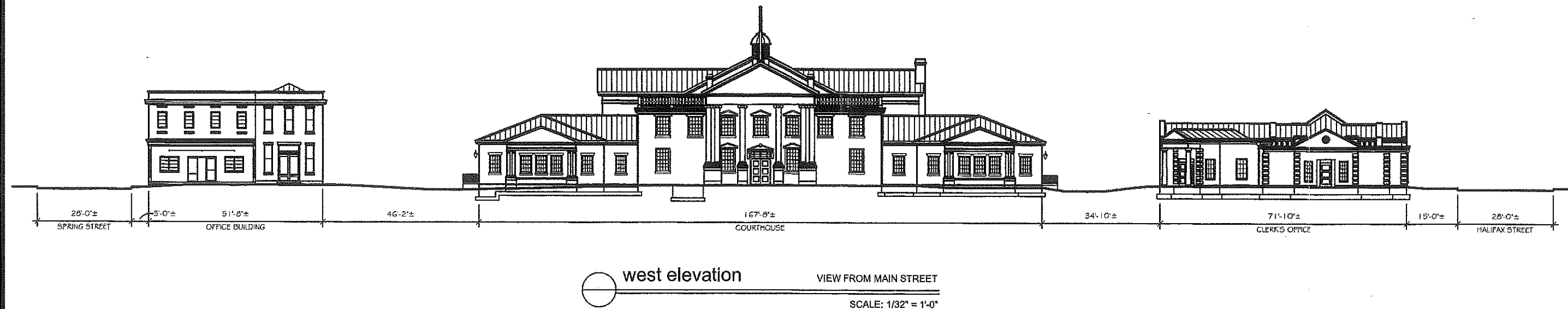
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**GREENSVILLE COUNTY COURTHOUSE
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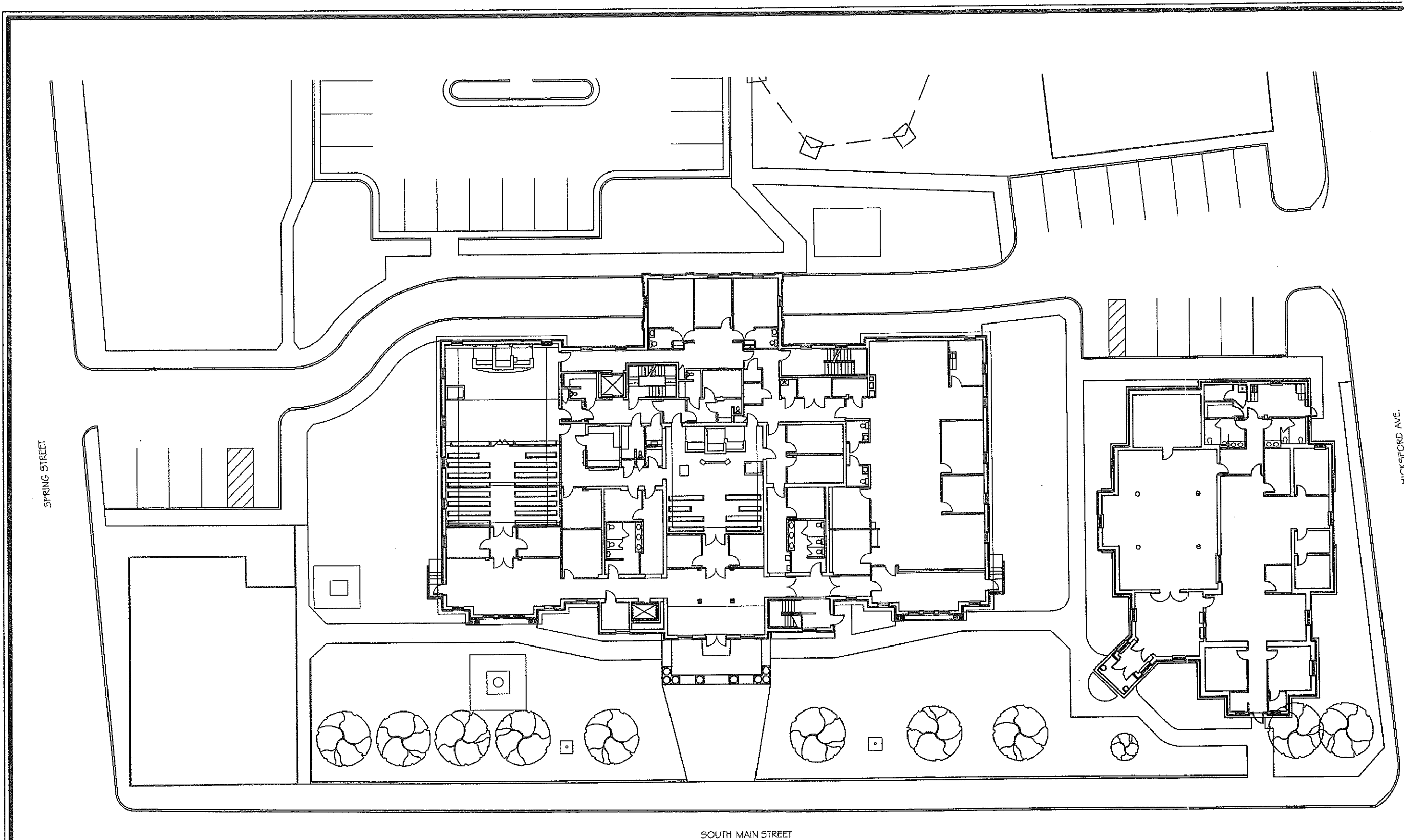
DATE: 11/15/14
JOB NUMBER: J-268-14

DRAWN BY: MPN
CHECKED BY: JBB

REVISIONS:

EXISTING CONDITIONS:
 preliminary drawings





key plan

SCALE: 1" = 30'

REFERENCE NORTH

TRUE
NORTH



EXISTING CONDITIONS:
preliminary drawings

C. Proposed Facility

The existing space needs of the current historic courthouse, as presented in Section B, show that the building is very functional and has sufficient separation of prisoner, staff, and public spaces. In that there is satisfactory functionality of the building, and an absence of additional courthouse space needs requested by the stakeholders; the main focus of this project concept will strictly be **security enhancements**.

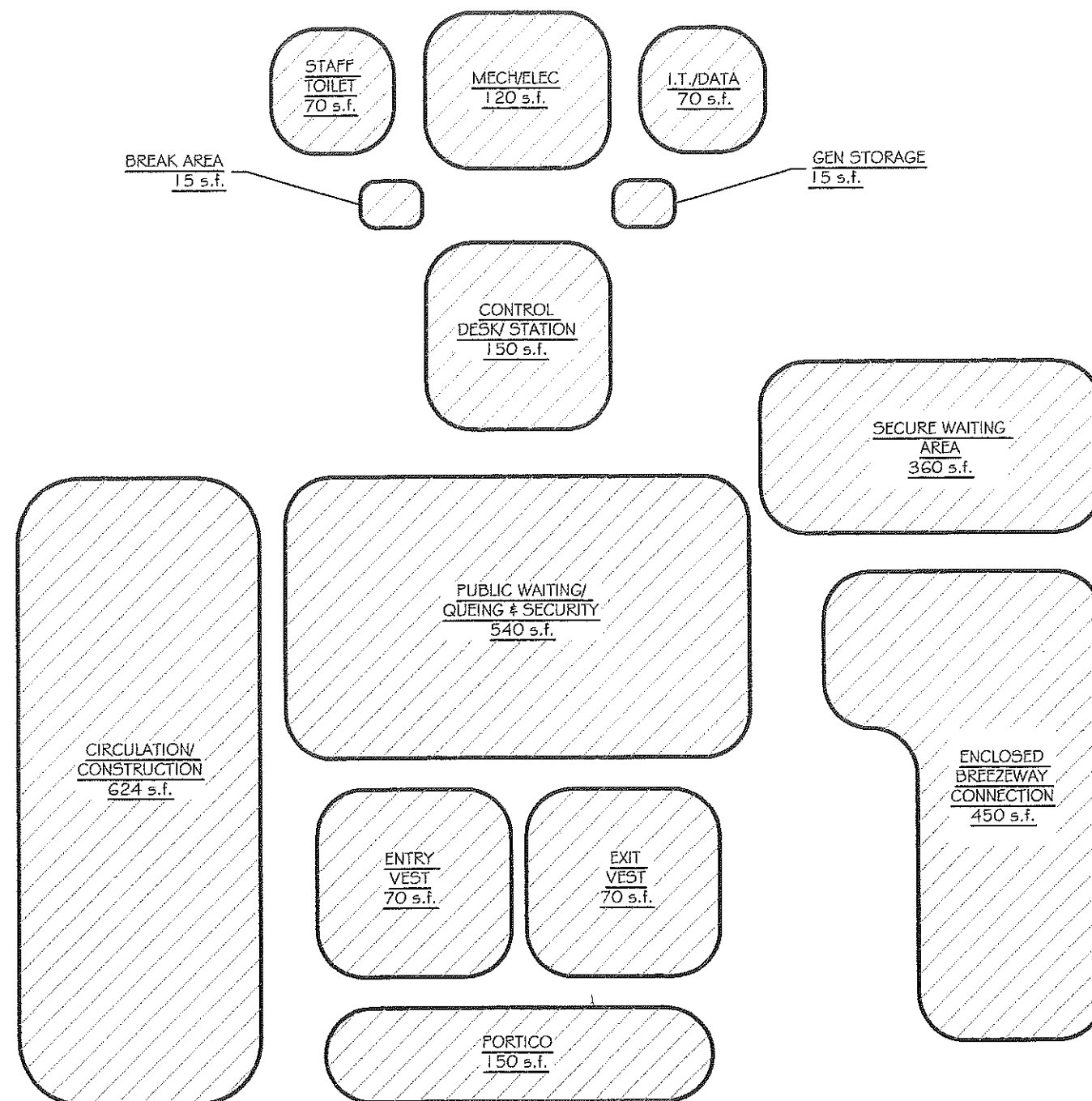
As an introduction to this enhancement project, the design team has initiated a current security space needs analysis with the stakeholders to determine any deficiencies that the historic courthouse may now have. The proposed additional space needs, attached herein, were approved by stakeholders and key staff members, and act as the critical component of the **security enhancements** to be undertaken.

The design team has prepared (4) four security enhancement options for the historic courthouse. Options 1 through 3 are each variations of a North Wing addition to the courthouse, while Option 4 explores expanding the existing entrance of the courthouse, by moving the entire West facade forward towards the street.

Options 1 through 3 satisfy all of the deficiencies set forth by Sheriff Edwards and key staff members. Option 4 satisfies a majority of deficiencies, however has more limited line of sight, and less public waiting and queuing space than the other three options. Option 4 was completed so that the owner and design team could fully and efficiently evaluate and discuss all possible options of enhancing the security of the courthouse. Also, Option 4 is the only option that would not require the demolition of the Old Office and Bank Building, located at the corner of South Main Street and Spring Street.

A full and thorough evaluation of the Old Office and Bank Building has been performed by the design team, and can be found as Exhibit 6 in this Preliminary Architectural Report.

In summary, all of the (4) four options submitted herein are improvements to the existing security conditions of the courthouse, with Option being the standout solution.



PROPOSED SPACE NEEDS:

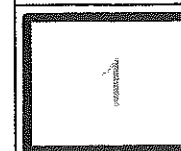
PORTICO	150 s.f.
ENTRY VESTIBULE	70 s.f.
EXIT VESTIBULE	70 s.f.
PUBLIC WAITING AREA	540 s.f.
CONTROL DESK	150 s.f.
GENERAL STORAGE	15 s.f.
BREAK AREA	15 s.f.
STAFF TOILET	70 s.f.
MECH/ELEC	120 s.f.
I.T./DATA	70 s.f.
SECURE WAITING AREA	360 s.f.
ENCLOSED BREEZEWAY	450 s.f.
SUBTOTAL	2,080 s.f.
CIRC/CONST - 30%	624 s.f.
TOTAL	2,704 s.f. ±

proposed space needs

SCALE: 1" = 10'

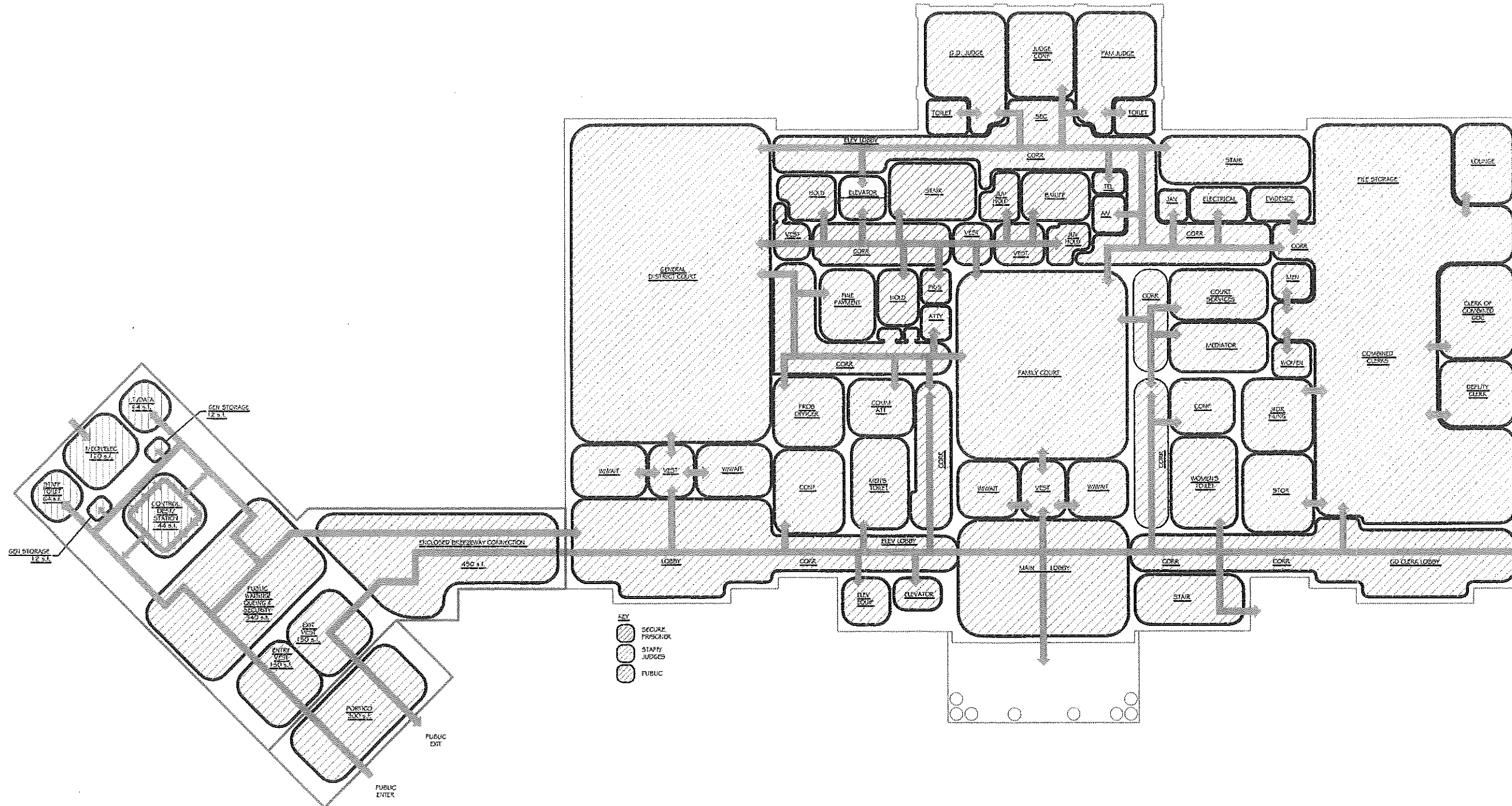
SPACE NEEDS REVIEWED BY
STAKEHOLDERS, NOVEMBER 5, 2014

preliminary drawings



option 1

REFERENCE NORTH
TRUE NORTH



proposed first floor space needs and relationships

SCALE: 1" = 20'

preliminary drawings

BAXTER BAILEY & ASSOCIATES
ARCHITECTS
A PROFESSIONAL CORPORATION
11 EAST FRANKLIN STREET, RICHMOND, VIRGINIA 23219
(804) 343-1338 FAX (804) 343-1370

OWNER:
GREENSVILLE COUNTY BOARD OF SUPERVISORS
K. David Whittington, County Administrator
GREENSVILLE COUNTY
James R. Edwards, Jr., Sheriff
GREENSVILLE COUNTY

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GREENSVILLE COUNTY COURTHOUSE
SECURITY ENHANCEMENT PROJECT
COURT SQUARE MAIN STREET
EMPORIA, VIRGINIA

DATE: 11/15/14
JOB NUMBER: J-268-14

DRAWN BY: MPN
CHECKED BY: JBB

REVISIONS:

SPRING STREET

HICKSFORD AVE.

SOUTH MAIN STREET

SCALE: 1" = 30'

REFERENCE NORTH

TRUE
NORTH



preliminary drawings

**BAXTER BAILEY
& ASSOCIATES**

ARCHITECTS
—A PROFESSIONAL CORPORATION—
11 EAST FRANKLIN STREET, SUITE 200, RICHMOND, VIRGINIA 23210
(804) 783-1871 FAX (804) 783-1876 E-MAIL: BBA@BBA.VIRGINIA.COM

Owner:
GREENSVILLE COUNTY BOARD OF SUPERVISORS

K. David Whittington, County Administrator
GREENSVILLE COUNTY

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GREENSVILLE COUNTY

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DATE: 11/04/14

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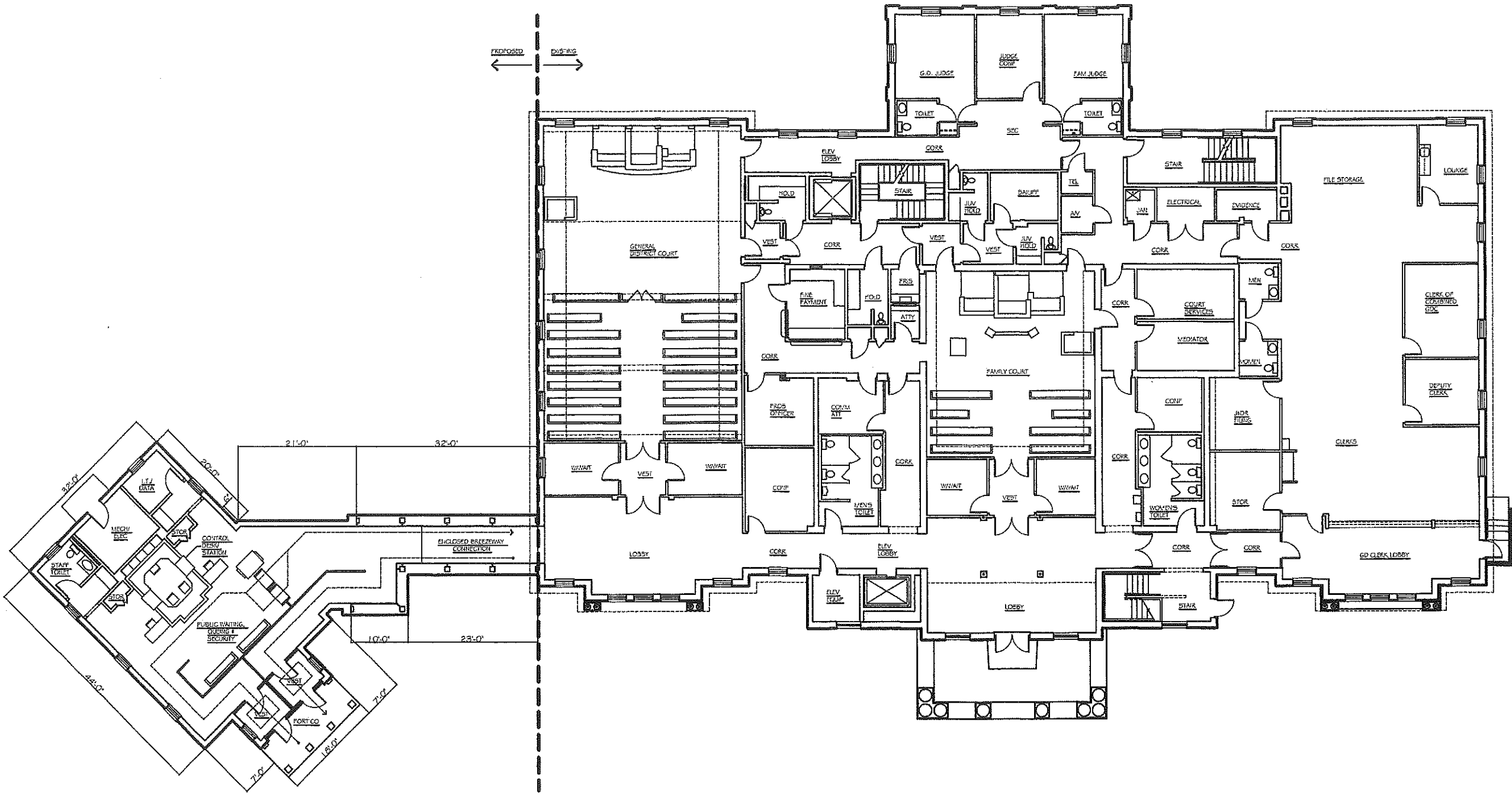
DRAWN BY: MPN
CHECKED BY: JBB

REVISIONS:

1990

option 1

REFERENCE NORTH
TRUE NORTH



proposed first floor plan

SCALE: 1" = 20'

preliminary drawings

BAXTER BAILEY & ASSOCIATES
ARCHITECTS
A PROFESSIONAL CORPORATION
11 EAST FRANKLIN STREET, RICHMOND, VIRGINIA 23219
(804) 345-1538 FAX (804) 345-3070

CLIENT: GREENSVILLE COUNTY BOARD OF SUPERVISORS
K. David Whittington, County Administrator
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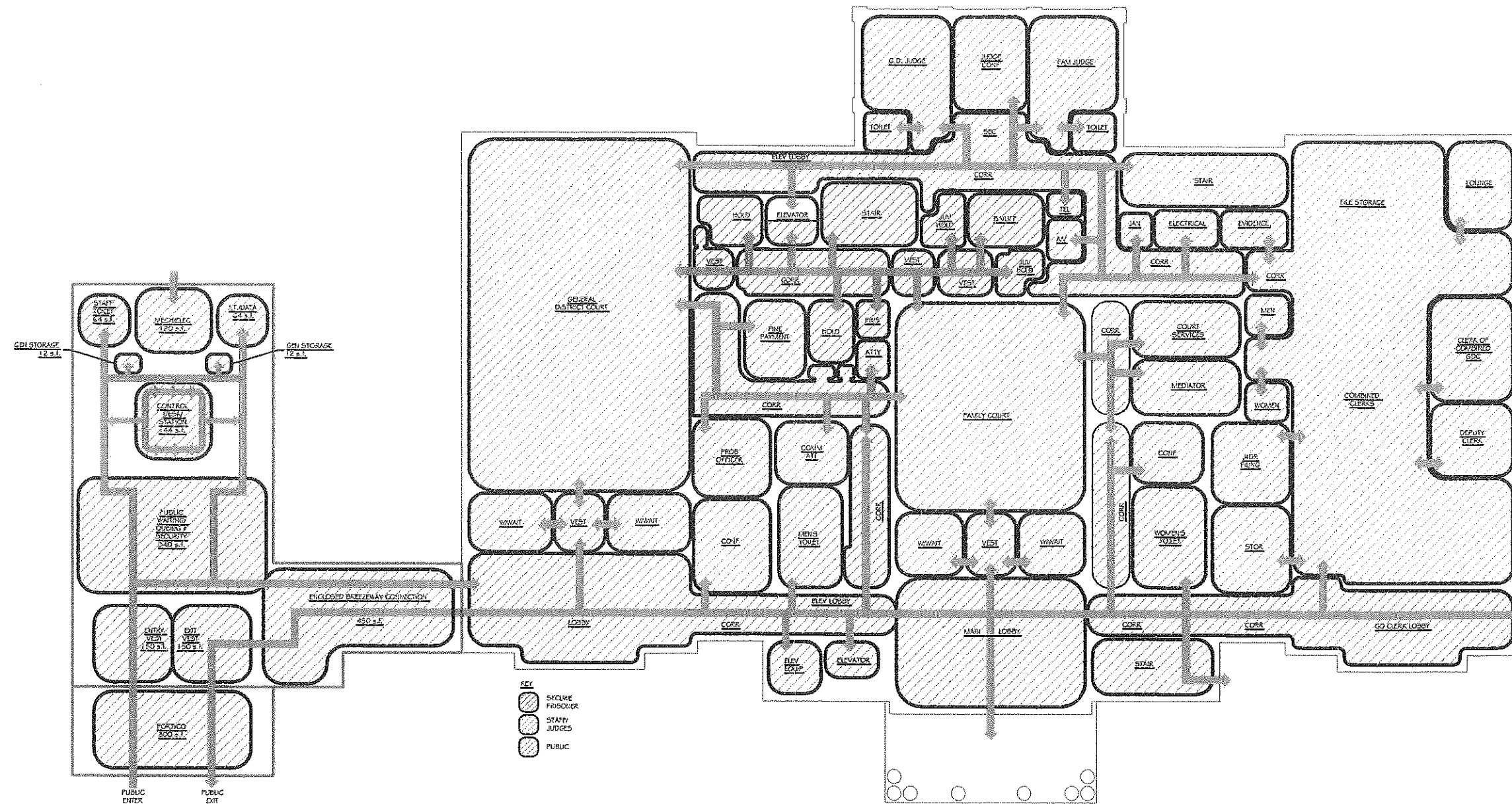
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DATE: 11/04/14
JOB NUMBER: J-268-14

DRAWN BY: MPN
CHECKED BY: JBB

REVISIONS:

option 2



proposed first floor space needs and relationships

SCALE: 1" = 20'

preliminary drawings

option 2

SPRING STREET

HICKSFORD AVE.

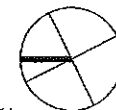
SOUTH MAIN STREET

key plan - proposed

SCALE: 1" = 30'

REFERENCE NORTH

TRUE
NORTH



preliminary drawings

**BAXTER BAILEY
& ASSOCIATES**
ARCHITECTS
A PROFESSIONAL CORPORATION
11 EAST FRANKLIN STREET, RICHMOND, VIRGINIA 23219
(800) 343-1838 / FAX (804) 603-9770

Owner:
GREENSVILLE COUNTY BOARD OF SUPERVISORS
K. David Whittington, County Administrator
GREENSVILLE COUNTY
James R. Edwards, Jr., Sheriff
GREENSVILLE COUNTY

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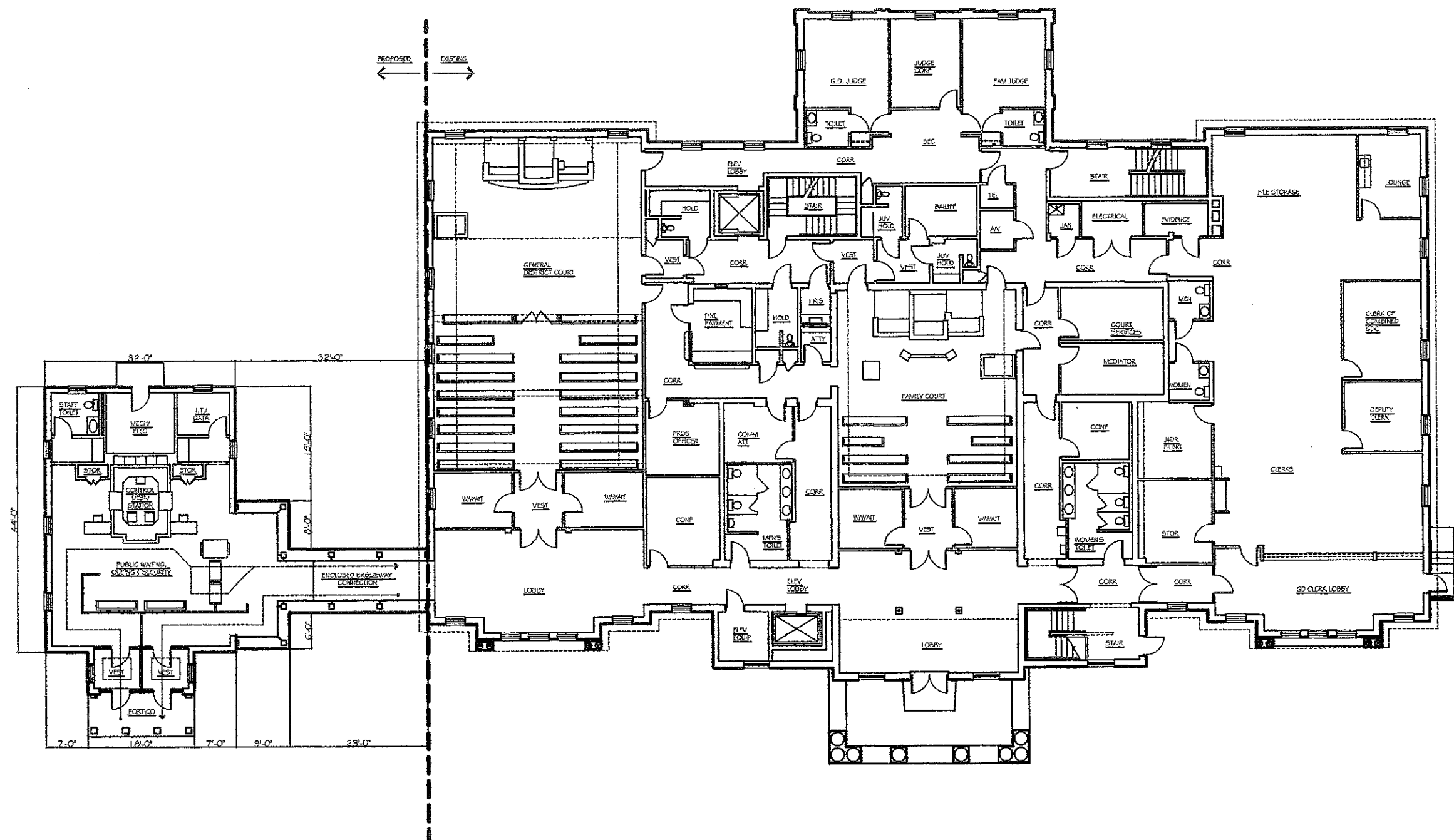
DATE: 11/04/14
JOB NUMBER: J-268-14

DRAWN BY: MPN
CHECKED BY: JBB

REVISIONS:

2

option 2



proposed first floor plan

SCALE: 1" = 20'

preliminary drawings

BAXTER BAILEY & ASSOCIATES
ARCHITECTS
A PROFESSIONAL CORPORATION
11 EAST FRANKLIN STREET, RICHMOND, VIRGINIA 23219
(804) 340-1331 FAX (804) 340-1370

Owner: GREENSVILLE COUNTY BOARD OF SUPERVISORS
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GREENSVILLE COUNTY
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GREENSVILLE COUNTY

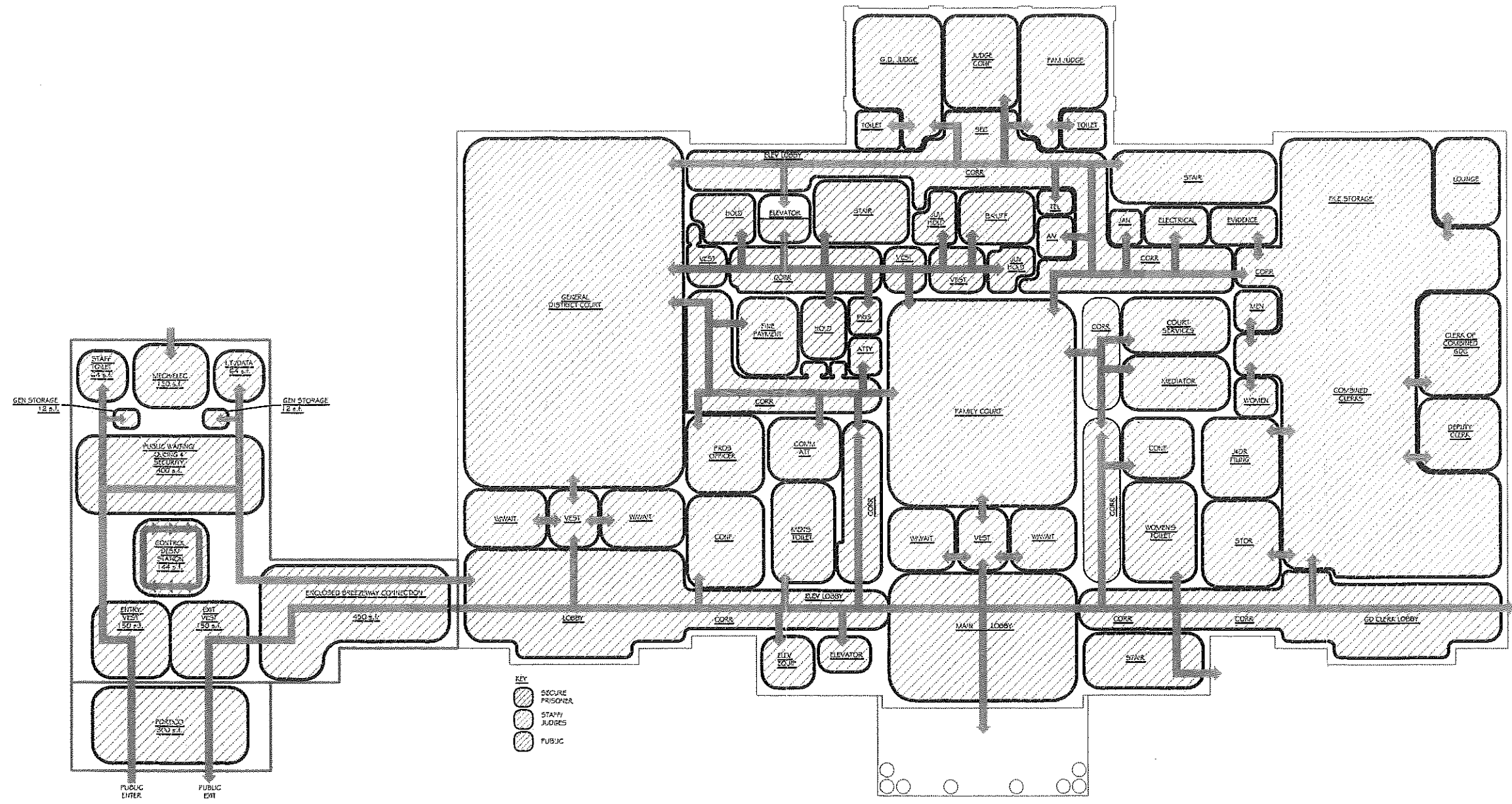
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DRAWN BY: MPN
CHECKED BY: JBB

REVISIONS:

option 3



option 3

SPRING STREET

HICKSFORD AVE.

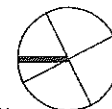
SOUTH MAIN STREET

key plan - proposed

SCALE: 1" = 30'

REFERENCE NORTH

TRUE
NORTH



preliminary drawings

**BAXTER BAILEY
& ASSOCIATES**
ARCHITECTS
A PROFESSIONAL CORPORATION
11 EAST FRANKLIN STREET, SUITE 200, GREENSBORO, NC 27401
(336) 335-1500 FAX (336) 335-1501

OWNER:
GREENSBORO COUNTY BOARD OF SUPERVISORS
K. David Whittington, County Administrator
GREENSBORO COUNTY
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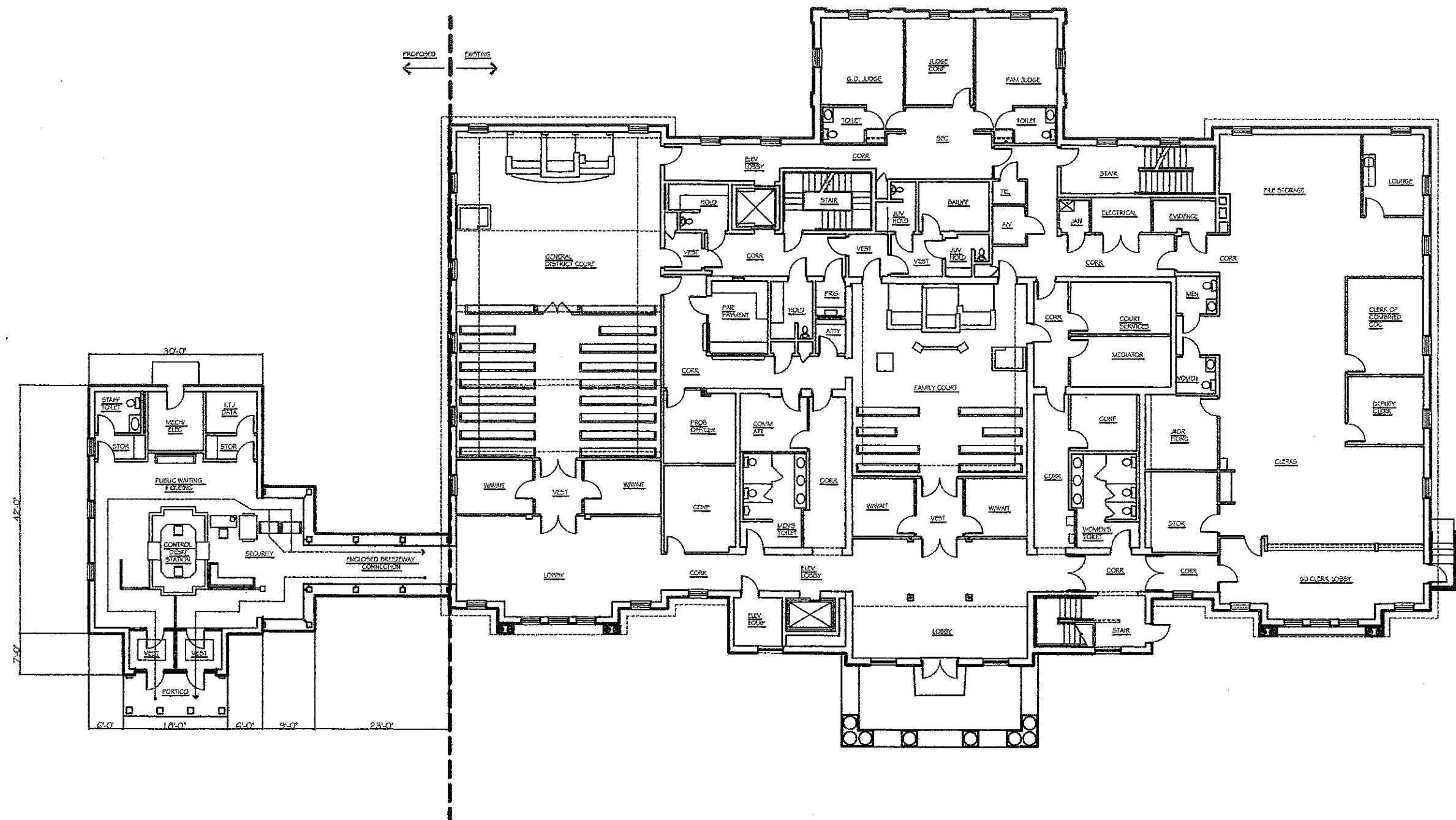
DATE: 11/04/14
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REVISIONS:

3

option 3



proposed first floor plan

SCALE: 1" = 20'

preliminary drawings

Client: GREENSVILLE COUNTY BOARD OF SUPERVISORS
K. David Whittington, County Administrator
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GREENSVILLE COUNTY

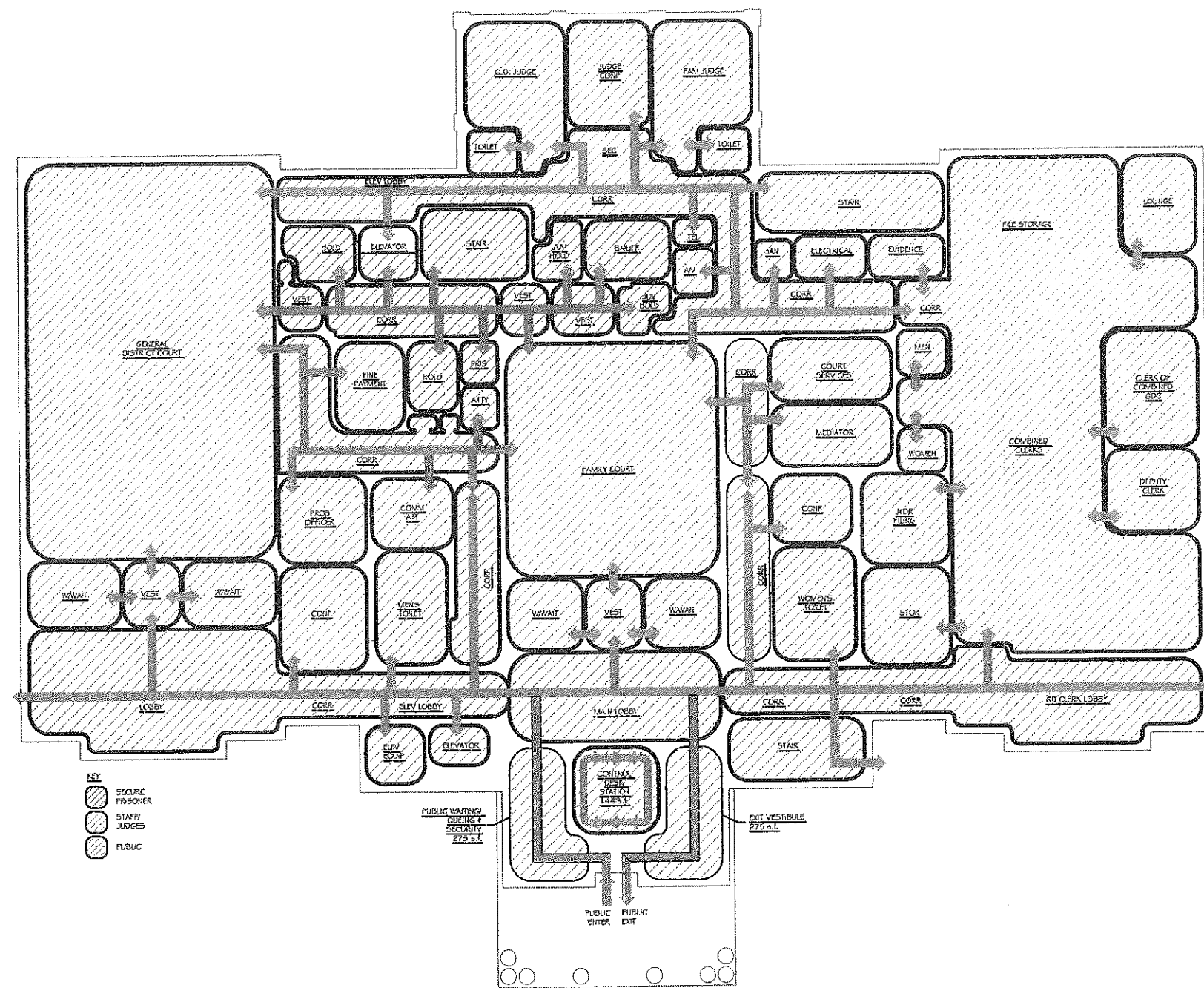
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REVISIONS:

option 4



proposed first floor space needs and relationships

SCALE: 1" = 20'

preliminary drawings

Owner:
GREENSVILLE COUNTY BOARD OF SUPERVISORS
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James R. Edwards, Jr., Sheriff
GREENSVILLE COUNTY

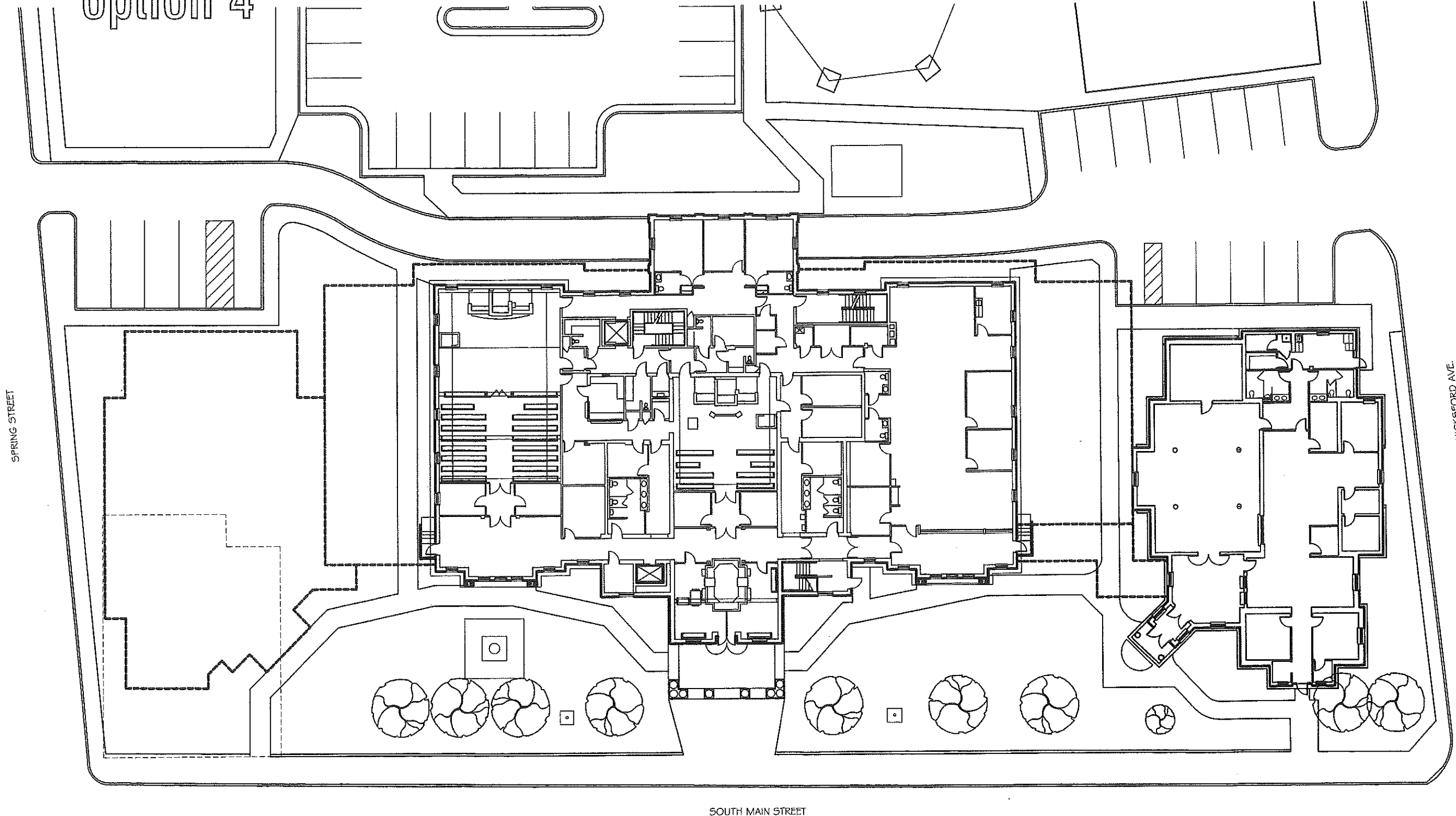
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DATE: 11/15/14
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REVISIONS:

option 4



key plan - proposed

SCALE: 1" = 30'

REFERENCE NORTH

TRUE
NORTH



preliminary drawings

**BAXTER BAILEY
& ASSOCIATES**
ARCHITECTS
A PROFESSIONAL CORPORATION
11 EAST FRANKLIN STREET, RICHMOND, VIRGINIA 23219
(804) 342-8888 FAX (804) 342-8889

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GREENSVILLE COUNTY BOARD OF SUPERVISORS
K. David Whitington, County Administrator
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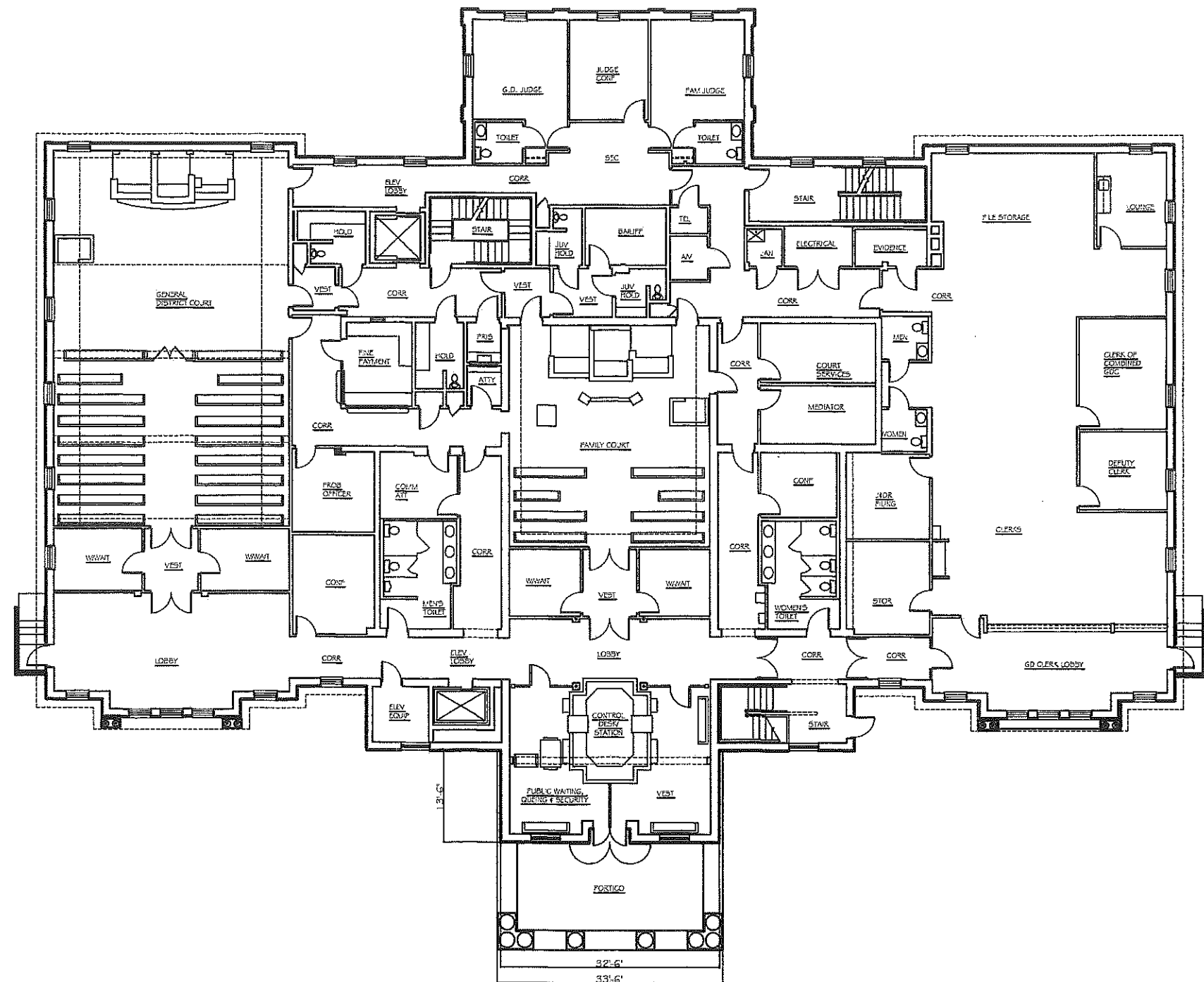
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DRAWN BY: MPN
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REVISIONS:

option 4



proposed first floor plan

SCALE: 1" = 20'

preliminary drawings

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ARCHITECTS
A PROFESSIONAL CORPORATION
11 EAST FRANKLIN STREET, RICHMOND, VIRGINIA 23219
(804) 343-1328 FAX (804) 343-1070

Owner:
GREENSVILLE COUNTY BOARD OF SUPERVISORS
K. David Whittington, County Administrator
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REVISIONS:

D. Building Site Information

1. Amount of Land Required

No additional land is required. The present Court Square is amply sufficient to receive the proposed additions of either Option 1, 2, 3 or 4, all of which are of limited area and scope. See various key site plans, attached here in.

2. Location

The proposed additions/alterations will be crafted as supplementary security enhancements to the existing historic Greenville County Courthouse, which is sited on Court Square within the central business district of the city of Emporia. This landmark site is well recognized by both citizens and visitors throughout the region. It continues as an ideal location for the court system, and the Owner is strongly committed to that end.

3. Site Plan (*legal, site grades, flood map*)

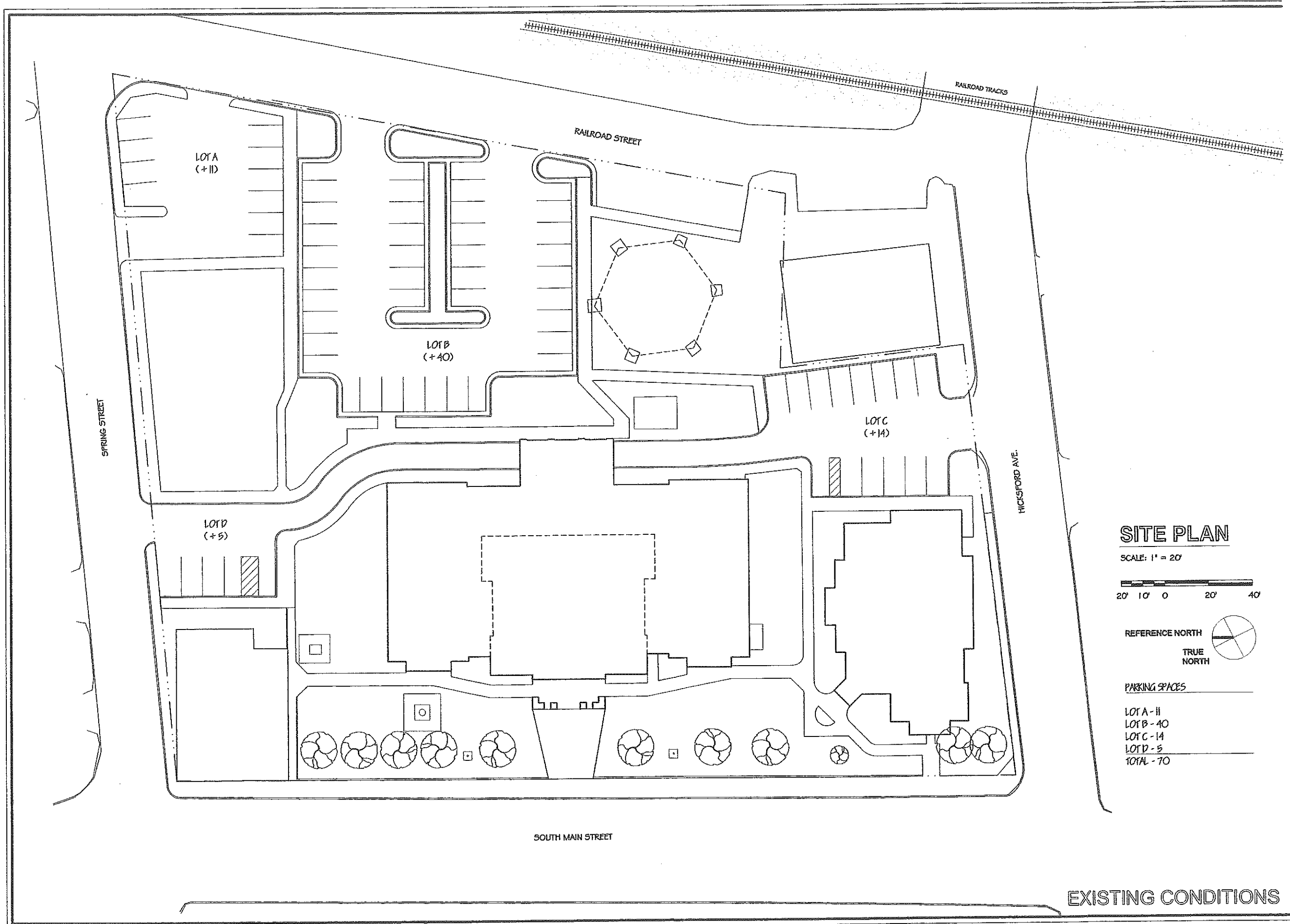
Attached please find existing site plans, C-2 & C-3, from Hayes, Seay, Mattern & Mattern Inc. of Roanoke, VA, these having been prepared for the earlier courthouse expansion, circa 1995. Also attached, please find a current architectural site layout plan, which updates and illustrates the main features now found at the site. Changes to the 1995 site plan include the removal of two old structures and the inclusion of two new parking lots. This updated general site plan was prepared by Baxter Bailey & Associates incorporating/using the original earlier drawings and several more recent site drawings by Jeff Robinson & Associates.

4. Site suitability

The suitability of the site is considered excellent to superior in that: (a) The existing Greenville County Courthouse is now in place, complete with support utilities and infrastructure, including ample parking and ease of patron circulation; (b) Easy access to main traffic corridors, including Route 301/South Main Street leading to Interstate 95, as well as the whole of the City of Emporia. The existing site of the Greenville County Courthouse was originally selected for it's optimal and central location within the City of Emporia. All-in-all this is an excellent site, fully prepared to accept the minor impact of the proposed security enhancements discussed herein.

5. Parking

The site currently includes some 70 parking spaces, in addition to surrounding street parking. Because of the limited scope of the security enhancements envisioned, and their minor impact on the courthouse capacities, no additional parking is anticipated or planned for in this study.

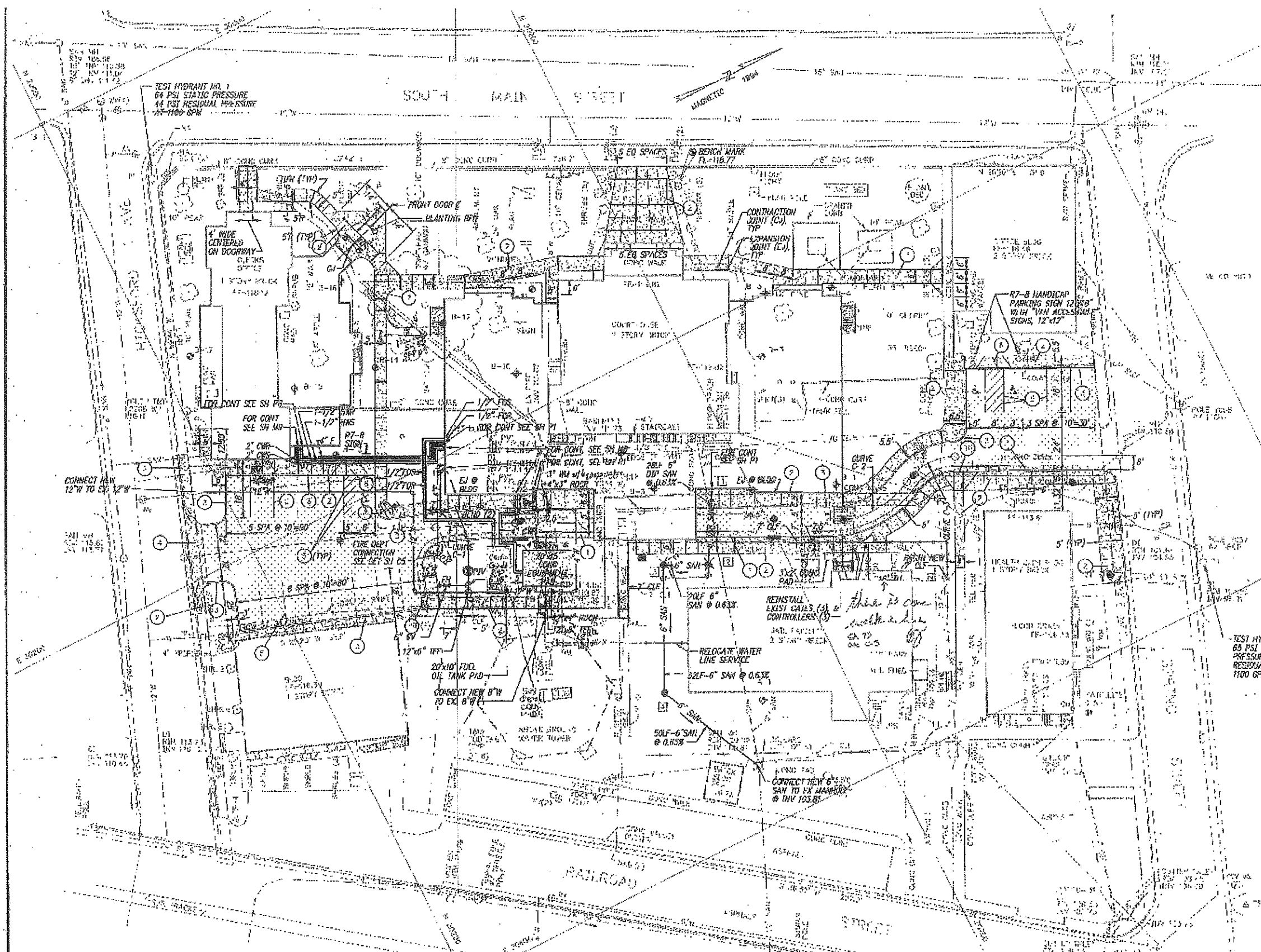


DATE: AUGUST 4, 2014

JOB NUMBER:

DRAWN BY: JMC
 CHECKED BY:

REVISIONS:





GENERAL NOTES

1. FOR ELECTRICAL AND TELEPHONE WORK,
SEE ELECTRICAL ESTE PLAN.
2. ALL BENDS ARE 90° UNLESS OTHERWISE NOTED.
3. CONCRETE JOINTS ARE SLOPED AT 5° UNLESS OTHERWISE NOTED.
4. PROVIDE LOCKABLE COVERS FOR MANHOLES IN THE
FENCED JAIL YARD.
5. UNLESS OTHERWISE NOTED, ALL UTENSILS AND MATERIALS SHALL CONFORM
TO 1981 WDOT ROAD AND BRIDGE STANDARDS.

CURVE C-1		CURVE C-2		CURVE C-3	
T = 05.32'72"RT	T = 04.51'29"RT	T = 54.44'16"LT			
I = 16.80'	I = 20.77'	A = 12.94'			
L = 33.56'	L = 33.32'	R = 23.88'			
R = 254.00'	R = 40.00'	L = 25.00'			

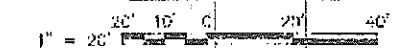
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SAN CO	SAN MH	SAN MH	SAN MH
KRM 109.14	KRM 110.50	KRM 110.00	KRM 109.84
INV 107.63	INV IN 107.37	INV 106.48	INV 106.13
	INV OUT 106.59		

LEGEND

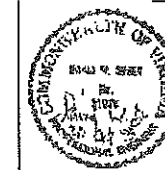
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|---|--|
|  | INDICATES CONCRETE PAVEMENT |
|  | INDICATES ASPHALT PAVEMENT |
| (1) | WOOT STD CG-8
COMBINATION CURB & GUTTER |
| (2) | CONCRETE SIDEWALK
(4" THICK) |
| (3) | WOOT STD CG-2
6" CURB |
| (4) | WOOT STD CG-80
ENTRANCE GUTTER |
| (5) | 4" WHITE PAINT STRIP |
| (6) | WOOT STD CG-12
CURE RAMP |

NOT TO SCALE

GRAPHIC SCALE



PROJECT	NO.	DESCRIPTION	DATE
DESIGN	001	GREENSVILLE COUNTY/EMPORA COURTHOUSE COMPLEX	
DESIGN	002	EMPORA, VIRGINIA	
DESIGN	003	CIVIL LAYOUT & UTILITIES PLAN	
DESIGN	004		
DESIGN	005		
DESIGN	006		
DESIGN	007		
DESIGN	008		
DESIGN	009		
DESIGN	010		
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EROSION AND SEDIMENT CONTROL NOTES

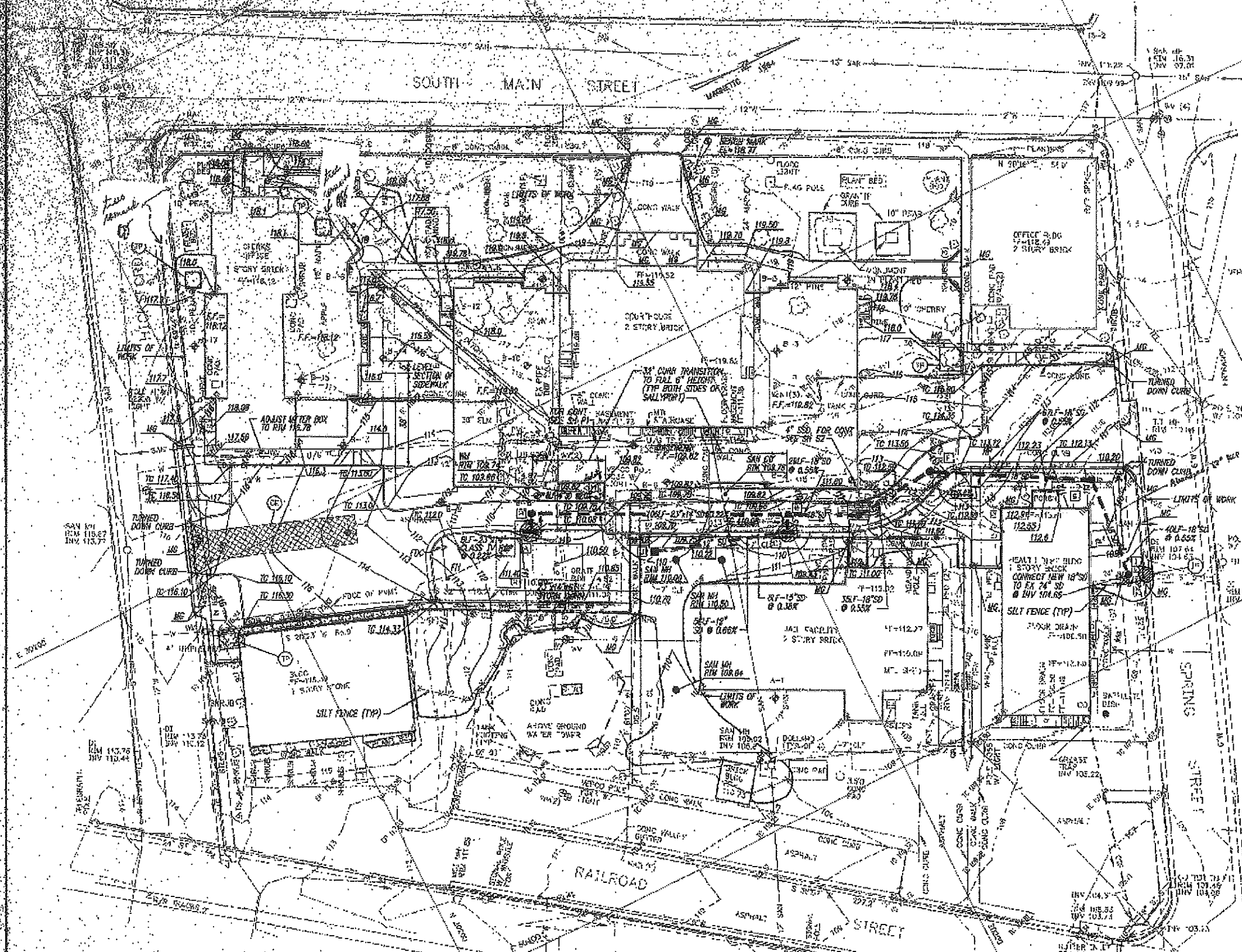
1. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AND VIRGINIA REGULATIONS VR 625-02-08 EROSION AND SEDIMENT CONTROL REGULATIONS.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP OF CONSTRUCTION.
3. ALL DISTURBED AREAS WHICH ARE NOT PAVED OR BUILT UPON SHALL BE STABILIZED WITH SEEDING WITHIN 7 DAYS AFTER FINAL GRADES ARE ACHIEVED.
4. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE OWNER'S REPRESENTATIVE.
5. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
6. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.
7. ALL EROSION CONTROL DEVICES SHALL BE REMOVED AND DISPOSED OF OFFSITE UPON COMPLETION OF CONSTRUCTION. DISTURBED AREAS SHALL BE REGRADED, TOPSOILED AND SEED.

LEGEND

- VECH STD & SPEC 3.05, SILT FENCE
- VECH STD & SPEC 3.07, STORM DRAIN INLET PROTECTION
- VECH STD & SPEC 3.38, TREE PRESERVATION & PROTECTION
- VECH STD & SPEC 3.02, TEMPORARY STONE CONSTRUCTION ENTRANCE
- LIMITS OF WORK

<p>WOT STD DI-2C, L=6'</p> <p>RIM 109.22</p> <p>INV 105.85</p>	<p>WOT STD MH-2</p> <p>RIM 109.04</p> <p>INV 105.83</p>	<p>WOT STD DI-2C, L=6'</p> <p>RIM 109.29</p> <p>INV 105.83</p>	<p>WOT STD MH-2</p> <p>RIM 109.04</p> <p>INV 105.60</p>
<p>WOT STD MH-2</p> <p>RIM 110.75</p> <p>INV (4" SSD) 106.60</p> <p>INV 105.44</p>	<p>WOT STD MH-2</p> <p>RIM 112.76</p> <p>INV 105.25</p>	<p>WOT STD MH-2</p> <p>RIM 111.37</p> <p>INV 104.08</p>	<p>SD CO</p> <p>RIM 109.79</p> <p>INV 106.26</p>
<p>WOT STD MH-2</p> <p>RIM 109.20</p> <p>INV 104.88</p>	<p>WOT STD DI-1</p> <p>RIM 109.60</p> <p>INV 105.00</p>	<p>NOT TO SCALE</p> <p>GRAPHIC SCALE</p> <p>1" = 20'</p>	

DESIGNED BY	DUS	DATE	10/20/99
DRAWN BY	JRE	CHECKED BY	SEL
APPROVED BY	SEL	SUBMITTED BY	LBC
GREENSVILLE COUNTY/EMPORTA COURTHOUSE COMPLEX		EMPORTA, VIRGINIA	
CIVIL		GRADING & DRAINAGE PLAN	
HAYES, SEAY, WATERN & WATERN INC.		SCALE	1"=20'
ARCHITECTS - ENGINEERS - PLANNERS		DATE	OCTOBER 20, 1999
VIRGINIA BEACH, VIRGINIA		SHEET	3



E. Cost Estimates

■ OPTION 1 – North Wing Addition

Method/ Description:

This budget prepared on current cost comparisons for similar and/or existing structures in/of the region, as well as final project costs for this client, up-dated for inflation in current dollars. The project will be a single story addition of 2,631 s.f.+/- and attach to the historic Greenville County Courthouse. Construction will consist of slab on grade, exterior brick facing, c.m.u. structural walls, metal truss frame roof system with standing seam metal roofing to match original. Also included will be metal stud partitions, interior 2-ply gypsum wall board partitions, wood trim, metal door frames trimmed in wood with wood doors, a mixture of g.w.b. ceiling and acoustical treatment, and commercial thermal windows. A.D.A. compliance featured throughout, Information Technology ready, specialized internal Security System tied to the existing, specialized case work and cabinetry, stone/ceramic tile, v.c.t., and/or carpet as may apply.

The new facility will be fully air conditioned and heated with a state-of-the-art energy efficient and independent system; both mechanical and electrical. The site will be lighted and enhanced for security. The addition will be made to join and be compatible to the existing historic structure. Site work will be compatible with existing and complimentary to the standards of the site. New landscaping plantings will be supplemental to, and blended with the existing found at the site.

PROJECT BUDGET/ PRE – DESIGN

DATE: 12/30/2014

OPTION 1 – North Wing Addition

New Additions: 2,631 s.f. +/-;

■ **Construction Costs:**

Sitework

Paving/ C&G/ Grading/ Utilities:

Use: 2,631 s.f. @ 25.00 p.s.f. = \$65,775 \$ 65,775 +/-

Demolition:

Removal of Old Office Building @ 3,500 s.f.

Removal of Old Bank Building @ 3,490 s.f.

Use: 6,490 s.f. @ 8.50 p.s.f. = \$58,990 \$ 58,990 +/-

Asbestos Removal:

See Report/Brief in Exhibit 7 \$ 15,000 +/-

Building Construction

New Additions/ Connecting Existing:

Use: 2,631 s.f. @ \$260.00 p.s.f. = \$684,060 \$ 684,060 +/-

Total Construction Costs **\$ 823,825 +/-**

■ **Other Costs:**

Land \$ 25,000 +/-

Interest (\$800,000 x 6% ÷ 2) \$ 24,000 +/-

Arch./ Eng./ Survey/ Test (Factor 10.5%) \$ 75,600 +/-

Legal \$ 6,600 +/-

Clerk of Works \$ 10,000 +/-

Security Equipment

See Exhibit 3/Gaston Security Est. \$ 96,000 +/-

Equipment (By Owner)

Communications/ I.T./ Sound System \$ 40,000 +/-

Landscaping Allowance \$ 30,000 +/-

Environmental Study (t.b.d.) \$ 5,000 +/-

Design Contingencies (Use 10% / \$808,825) \$ 80,800 +/-

Total/ Other Costs **\$ 393,000 +/-**

TOTAL PROJECT COSTS : **\$ 1,216,825 +/-**

SUGGESTED BUDGET :	\$ <u>1,250,000</u> +/-
---------------------------	--------------------------------

F. Annual Operating Budget for Facility and Owner

Industrial Development Authority Greenville County	
Greenville County Courthouse Pavilion Operating Budget for New Addition	
<u>Expenses</u>	
Lease of Equipment	\$2,400
Telecommunications	5,000
Custodians	6,720
Electrical	6,000
Heating	2,000
Water & Sewer	240
Property Insurance	2,000
Repair & Maintenance Supplies	1,000
TOTAL	\$25,360
<u>Revenue</u>	
Contribution from Greenville County	\$25,360
TOTAL	\$25,360

The above budget information prepared by Greenville County.

G. Preliminary Concept Design

Option 1 – North Wing Addition

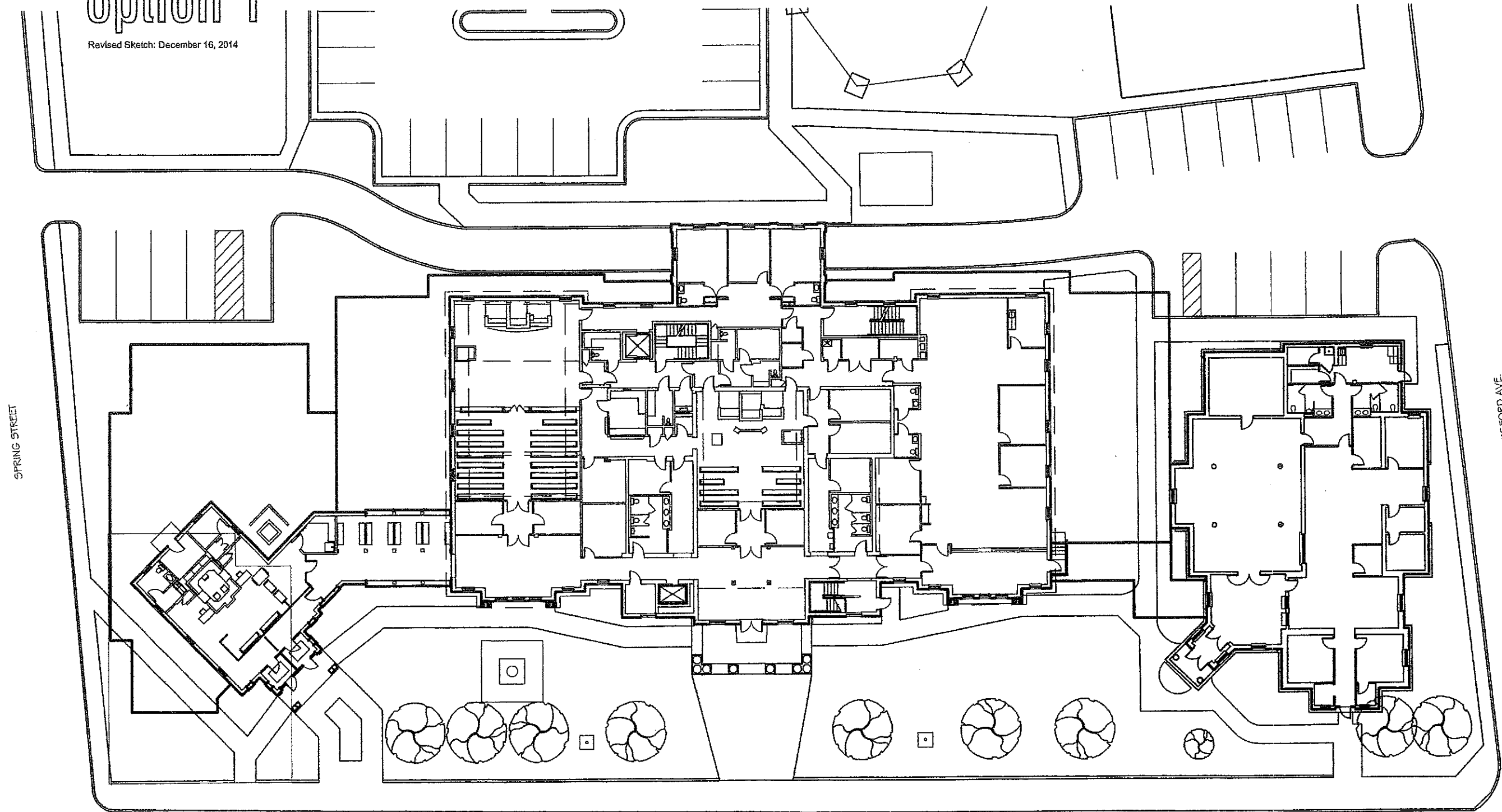
After considerable evaluation, discussions, and review, Option 1 is the design solution selected by the owner, stakeholders, and the architectural team as the best option for developing a preliminary design for the Courthouse Security Enhancement Project. Thus, it is the basis for the development of these Preliminary Concept Drawings shown here.

List of Drawings

- 1 – key plan
- 2 – first floor plan
- 3 – enlarged first floor plan
- 4 – building section
- 5 – west elevation
- 6 – east elevation
- 7 – north elevation
- 8 – south elevation/partial section

option 1

Revised Sketch: December 16, 2014



SPRING STREET

HICKSFORD AVE.

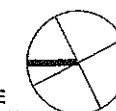
SOUTH MAIN STREET

proposed key plan

SCALE: 1" = 30'

REFERENCE NORTH

TRUE NORTH



preliminary concept

BAXTER BAILEY & ASSOCIATES
ARCHITECTS
A PROFESSIONAL CORPORATION
11 EAST FRANKLIN STREET, EMPORIA, VIRGINIA 22929
(803) 342-1538 FAX (803) 342-5070

Owner:
GREENSVILLE COUNTY BOARD OF SUPERVISORS
K. David Whittington, County Administrator
GREENSVILLE COUNTY
James R. Edwards, Jr., Sheriff
GREENSVILLE COUNTY

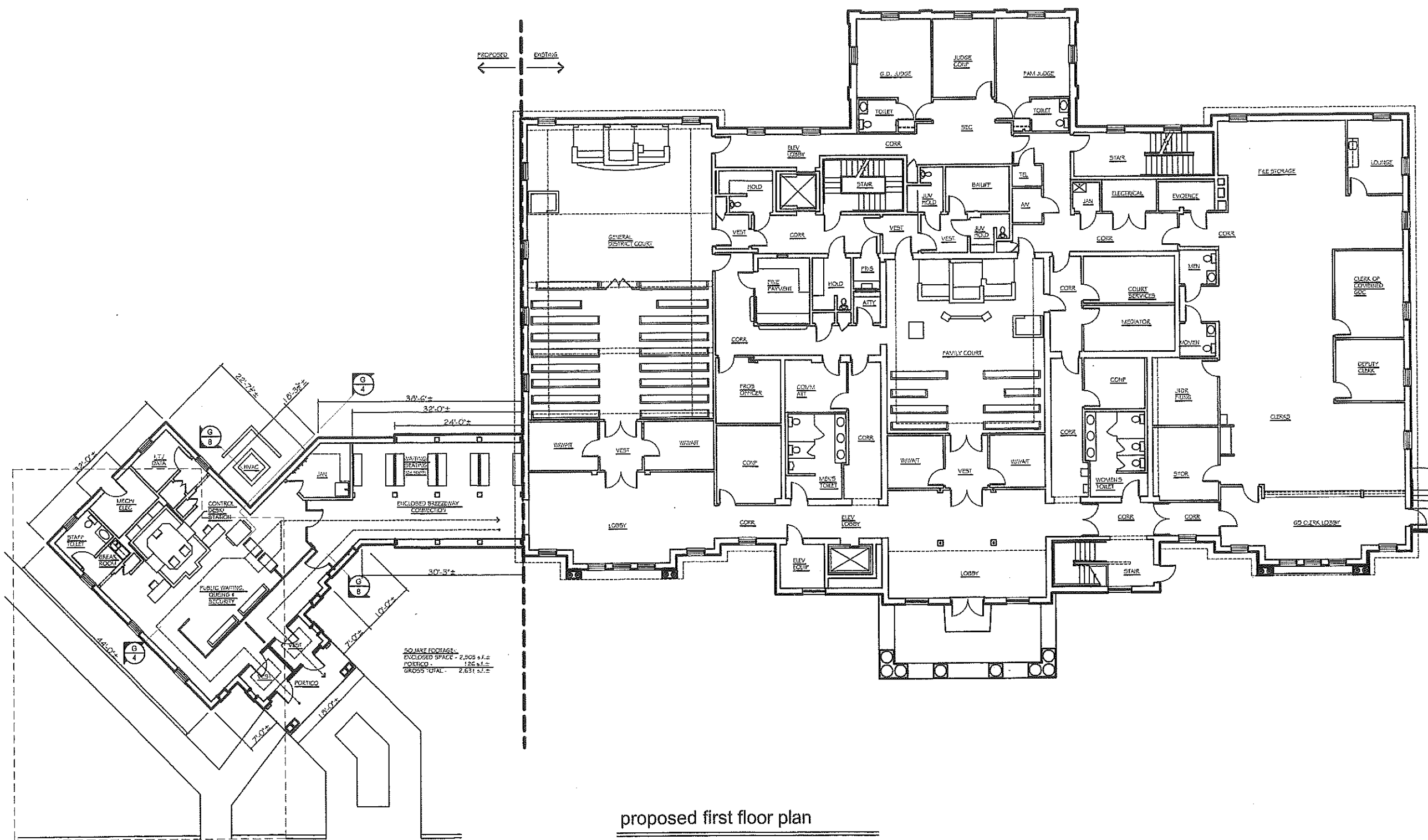
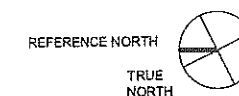
PRELIMINARY ARCHITECTURAL REPORT
GREENSVILLE COUNTY COURTHOUSE
SECURITY ENHANCEMENT PROJECT
COURT SQUARE MAIN STREET
EMPORIA, VIRGINIA

DATE: 12/30/14
JOB NUMBER: J-268-14

DRAWN BY: MPN
CHECKED BY: JBB

REVISIONS:

Revised Sketch: December 16, 2014



proposed first floor plan

SCALE: 1" = 20'

```
preliminary concept
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**BAXTER BAILEY
& ASSOCIATES**
ARCHITECTS
A PROFESSIONAL CORPORATION
11 EAST FRANKLIN STREET • RICHMOND, VIRGINIA 22104

Owner,
GREENSVILLE COUNTY BOARD OF SUPERVISORS
K. David Whittington, County Administrator
GREENSVILLE COUNTY
James R. Edwards, Jr., Sheriff
GREENSVILLE COUNTY

PRELIMINARY ARCHITECTURAL REPORT
GREENSVILLE COUNTY COURTHOUSE
SECURITY ENHANCEMENT PROJECT
COURT SQUARE/MAIN STREET
EMPORIA, VIRGINIA

DATE: 12/30/14
JOB NUMBER: J-268-14

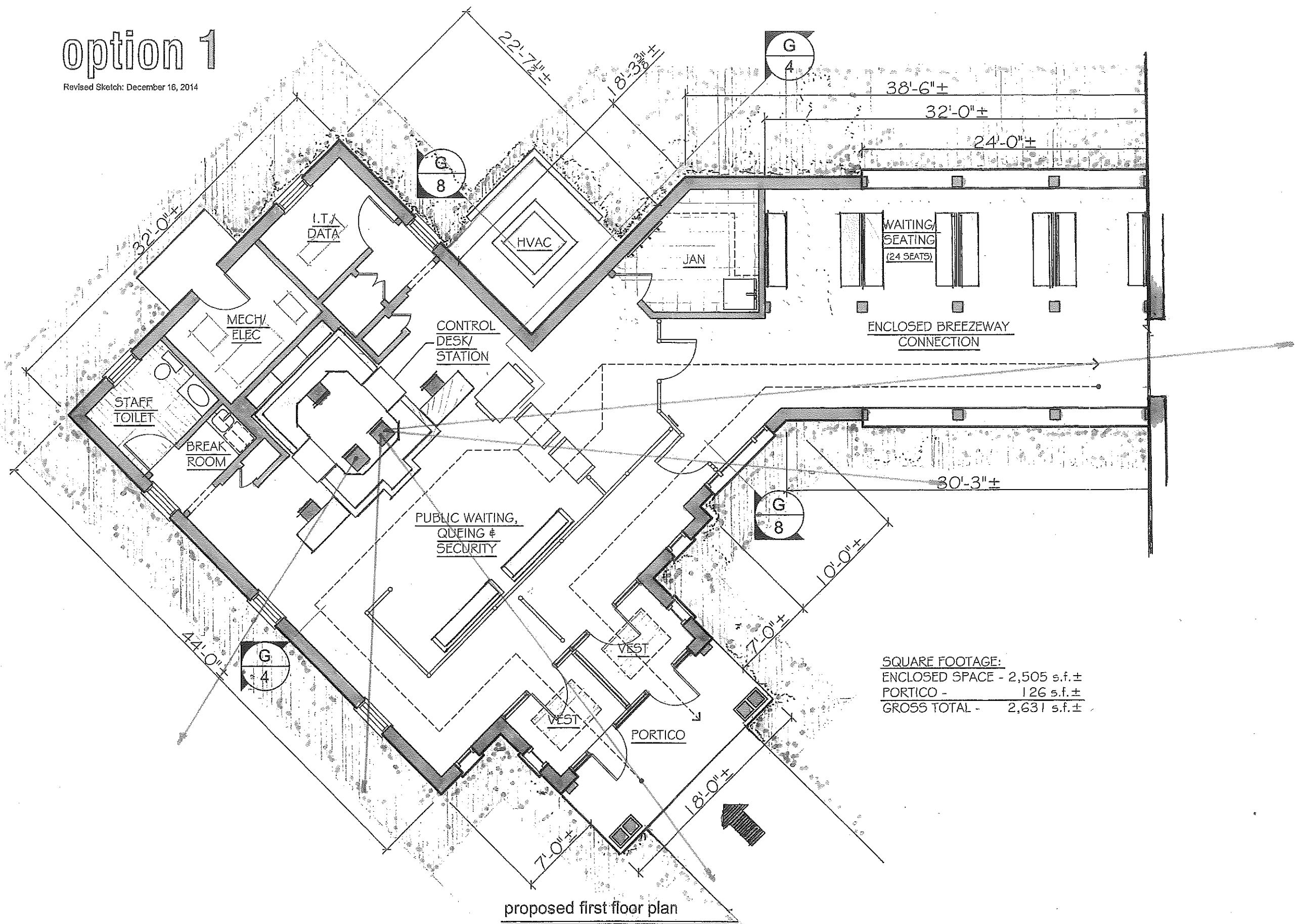
DRAWN BY: MPN
CHECKED BY: JBB

REVISIONS:

2

option 1

Revised Sketch: December 16, 2014



SQUARE FOOTAGE:
 ENCLOSED SPACE - 2,505 s.f.±
 PORTICO - 126 s.f.±
 GROSS TOTAL - 2,631 s.f.±

proposed first floor plan

SCALE: 1/8" = 1'-0"

preliminary concept

BAXTER BAILEY ASSOCIATES
 ARCHITECTS
 11 EAST FRANKLIN STREET, SUITE 100, GREENSVILLE, VIRGINIA 22116
 (803) 355-1039 FAX (803) 355-1040

Owner:
 GREENSVILLE COUNTY BOARD OF SUPERVISORS
 K. David Whittington, County Administrator
 GREENSVILLE COUNTY
 James R. Edwards, Jr., Sheriff
 GREENSVILLE COUNTY

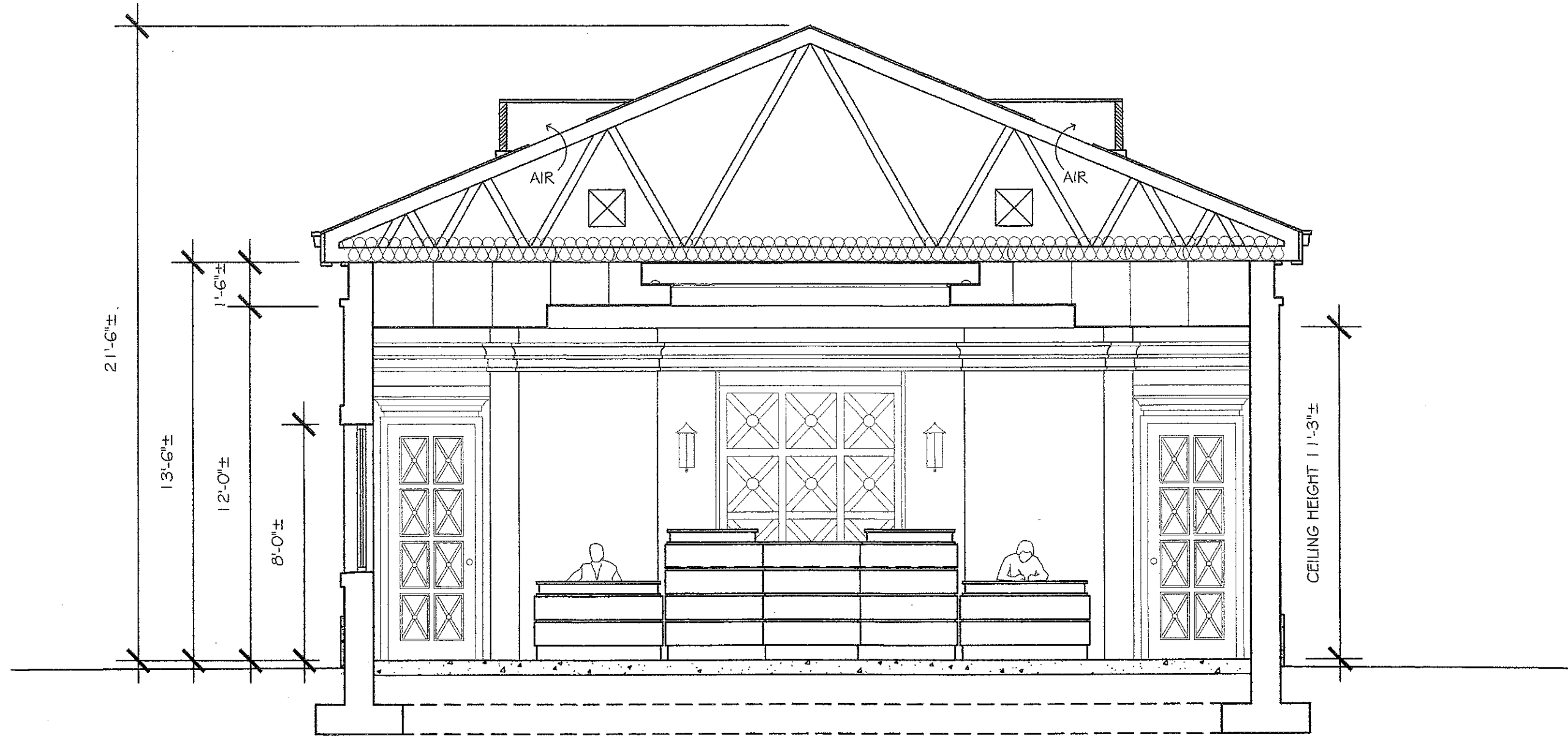
PRELIMINARY ARCHITECTURAL REPORT
 GREENSVILLE COUNTY COURTHOUSE
 SECURITY ENHANCEMENT PROJECT
 COURT SQUARE MAIN STREET
 EMPORIA, VIRGINIA

DATE: 12/30/14
 JOB NUMBER: J-268-14

DRAWN BY: MPN
 CHECKED BY: JBB

REVISIONS:

option 1

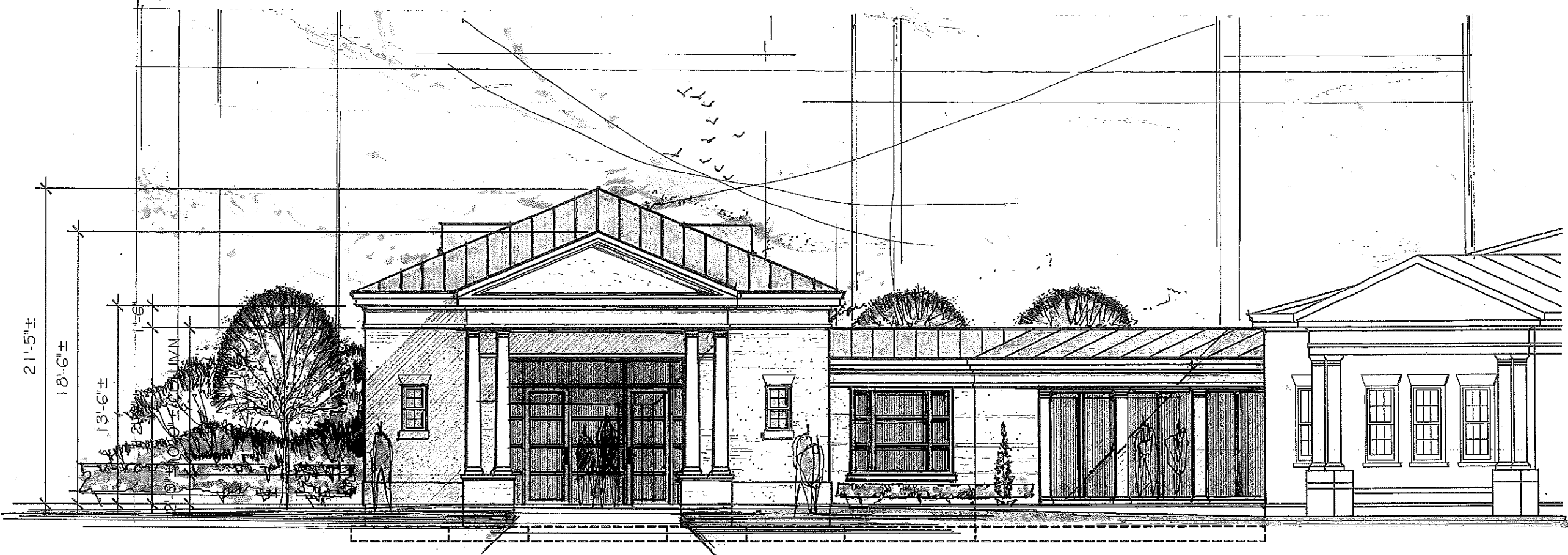


proposed building section

SCALE: 1/4" = 1'-0"

preliminary concept

option 1



proposed west elevation

SCALE: 1/8" = 1'-0"

preliminary concept

BAXTER BAILEY & ASSOCIATES
ARCHITECTS
A PROFESSIONAL CORPORATION
11 EAST FRANKLIN STREET, RICHMOND, VIRGINIA 23219
(804) 250-1828 FAX (804) 250-1830

Owner:
GREENSVILLE COUNTY BOARD OF SUPERVISORS
K. David Whittington, County Administrator
GREENSVILLE COUNTY
James R. Edwards, Jr., Sheriff
GREENSVILLE COUNTY

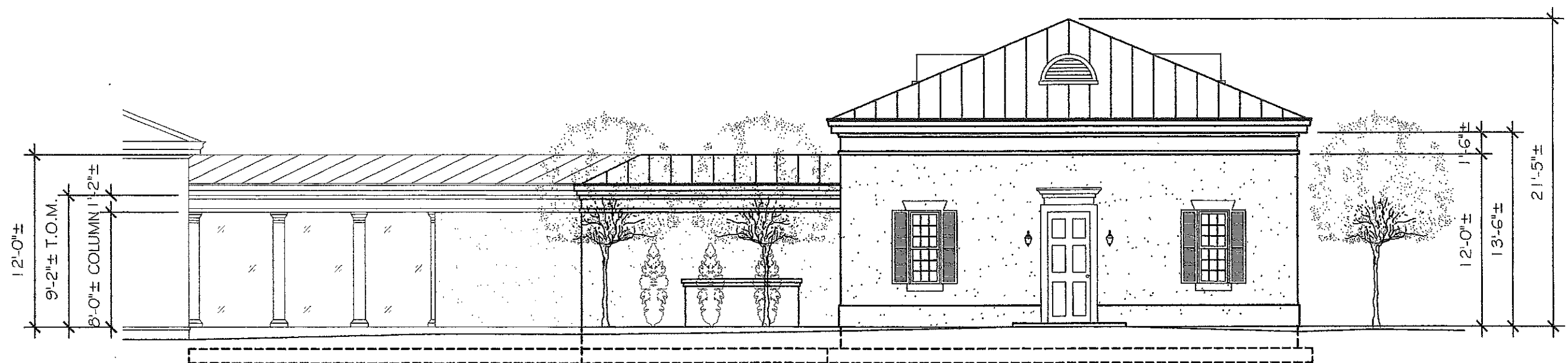
PRELIMINARY ARCHITECTURAL REPORT
GREENSVILLE COUNTY COURTHOUSE
SECURITY ENHANCEMENT PROJECT
COURT SQUARE MAIN STREET
EMPORIA, VIRGINIA

DATE: 12/30/14
JOB NUMBER: J-268-14

DRAWN BY: MPN
CHECKED BY: JBB

REVISIONS:

option 1



proposed east elevation

SCALE: 1/8" = 1'-0"

preliminary concept

Owner:
GREENSVILLE COUNTY BOARD OF SUPERVISORS
K. David Whittington, County Administrator
GREENSVILLE COUNTY
James R. Edwards, Jr., Sheriff
GREENSVILLE COUNTY

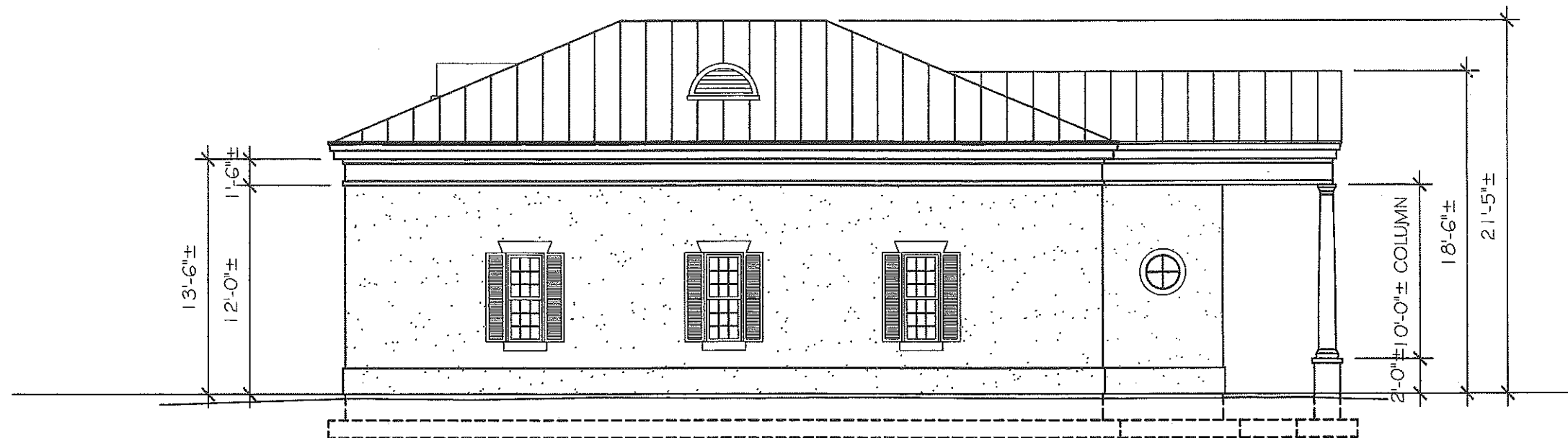
PRELIMINARY ARCHITECTURAL REPORT
GREENSVILLE COUNTY COURTHOUSE
SECURITY ENHANCEMENT PROJECT
COURT SQUARE/MAIN STREET
EMPORIA, VIRGINIA

DATE: 12/30/14
JOB NUMBER: J-268-14

DRAWN BY: MPN
CHECKED BY: JBB

REVISIONS:

option 1



proposed north elevation

SCALE: 1/8" = 1'-0"

preliminary concept

**BAXTER BAILEY
& ASSOCIATES**
ARCHITECTS
A PROFESSIONAL CORPORATION
11 EAST FRANKLIN STREET, RICHMOND, VIRGINIA 23219
(804) 345-1828 FAX (804) 345-1829

OWNER:
GREENSVILLE COUNTY BOARD OF SUPERVISORS
K. David Whittington, County Administrator
GREENSVILLE COUNTY
James R. Edwards, Jr., Sheriff
GREENSVILLE COUNTY

PRELIMINARY ARCHITECTURAL REPORT
GREENSVILLE COUNTY COURTHOUSE
SECURITY ENHANCEMENT PROJECT
COURT SQUARE/MAIN STREET
EMPORIA, VIRGINIA

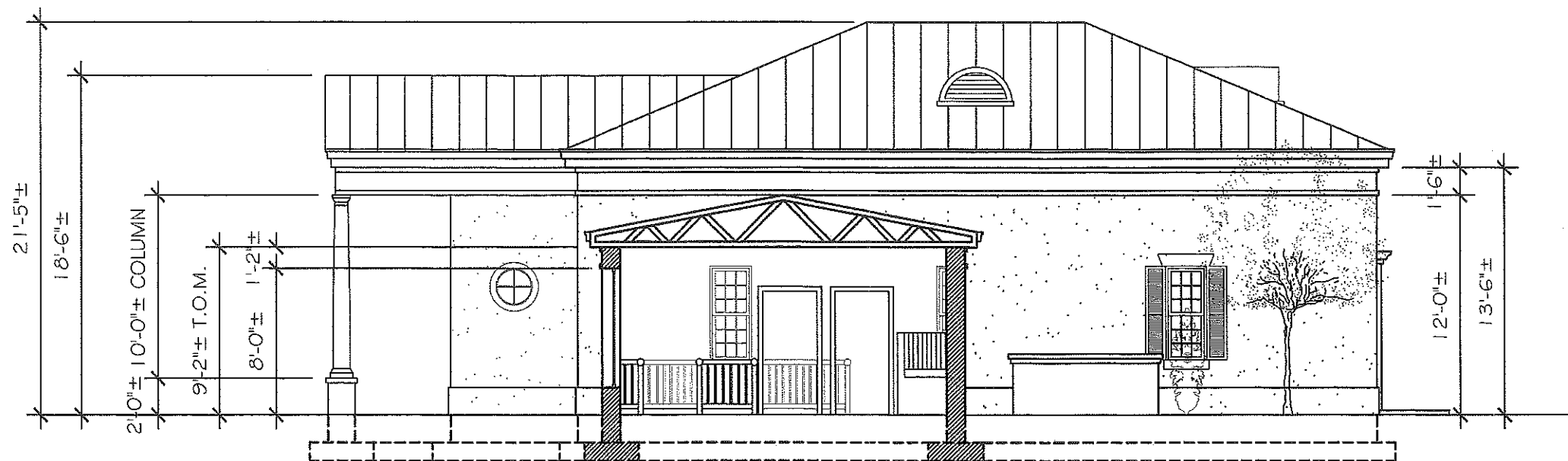
DATE: 12/30/14

JOB NUMBER: J-268-14

DRAWN BY: MPN
CHECKED BY: JBB

REVISIONS:

option 1



proposed south elevation/partial section

SCALE: 1/8" = 1'-0"

preliminary concept

H. Construction Problems

The design team, to date, finds that there appear to be no major 'Construction Problems' that would adversely affect the project proposed herein. As the studies depict, the essential consideration to be made by the owner will be the decommissioning and removal of the "Old Office and Bank Building." That accomplished, basic soils tests in the area will be taken. However, no significant soils issues are anticipated; all as evidenced by the well being of existing buildings on the site.

These buildings have stood the test of time and there is no history of soils deficiencies. Additionally the structure proposed is to be low impact, light commercial building type construction.

Generally, there is no evidence that any significant underground utilities are present at/over the proposed building footprint. Electric power entry for the courthouse is fed from the rear, as is the sanitary sewer and water. The utilities for the Old Office and Bank Building are fed from Spring Street and will be removed and capped with their demolition. The only known utility within the footprint is the existing site lighting. This feature can readily be relocated and managed during the construction documents phase.

While this project will be a significant modification/enhancement to the courthouse; the construction process can be staged so that there will be little or no disruption to the day-to-day operations. The design allows for completion of the new structure, all prior to the final connection to the existing.

In summary, the design team finds no issues or concerns with this pending expansion of the courthouse that cannot be easily managed through design efforts, and due diligence on the part of the design and construction team.

I. Conclusions

For some extended time the County of Greenville has been faced with the issue of inadequate security and staff safety at their existing historic courthouse. To that end, this Preliminary Architectural Report has explored several potential enhancement options, all the while considering and balancing the variables and limitations of the existing structure and site.

The Greenville Courthouse is in good to excellent condition, having been renovated and greatly expanded in 1995/1996. The facility functions very well in most aspects; however, building security and staff safety remains the single major area of concern for the users. Thus, all options studied focused on an enhancement of the existing facility; as there is no community sentiment, or economic rationale for considering a relocation or replacement of this notable facility.

The overall cost impact of the proposed project is in the range of \$ 1,250,000; and while this sum is to be a significant investment, it represents a relatively balanced proportion of the overall in-place value of this well established historic court complex.

With the overriding consideration of the elements above; the design team, with the stakeholders in agreement, recommends the implementation of **Option 1** as the most cost effective and workable approach to solving the current and pressing deficiencies of the Greenville County Courthouse.

EXHIBITS:

1. Architect's Summary Report

- Part 1 – Evaluation of Existing Conditions
- Part 2 – Analysis of Building Deficiencies
- Part 3 – Alternative Solutions
- Part 4 – Final Report Delivery

2. Security Assessment Report by Virginia Judicial Security Initiative

3. Security Equipment Layout & Budget

4. Geotechnical Engineering Report

5. Environmental Report

6. Summary Report - Old Office & Bank Building

- 1 – Purpose
- 2 – General Description
- 3 – Architect's Observations
- 4 - Recommendations

7. Asbestos Report

8. Related Correspondence

Architect's Summary Report

■ Overview:

In the original Proposal for Services for the preparation of this requested Preliminary Architectural Report (PAR), regarding the proposed Greenville County Courthouse Security Enhancement Project; a set of four primary tasks was set out, and accepted, as the 'base plate' for the development of this PAR Assignment.

Outlined here is a brief summary of those four tasks and how they have been implemented to guide and inform the PAR as a whole.

- Part 1 - Evaluation of Existing Conditions
- Part 2 - Analysis of Building Deficiencies
- Part 3 - Alternative Solutions
- Part 4 - Final Report Delivery

Architect's Summary Report

■ Part 1 – Evaluation of Existing Conditions

As architects for the study, we have inspected the existing structure and made our design team fully familiar with the existing courthouse and environs. In addition, drawings of the 1995 Addition/Expansion as provided by the Owner, proved to be a helpful and valuable asset to our understanding the deficiencies. On site inspections and the drawings combined to allow for a full and informed evaluation; all with a focus on the requested enhancement needs. The existing building was found to be in good-to-excellent condition with regards to structure, and is so situated that additions and infill can be made to both the North and South ends of the existing. Supporting M/E/P systems were to be left in place for the remainder of their life cycle, while new support systems are to be added for the proposed addition. The site has adequate parking with opportunities for a modest increase to the Northeast corner. Overall, the existing building and site were deemed as excellent candidates for the proposed enhancements.

Additional to the tasks outlined in the agreement, our firm has made survey inspections and photographic recordings of the conditions found at the Old Office and Bank Building.

In summary, the Old Office and Bank Building facility was found not suitable for any effective role in the Security Enhancement Project. It is in very poor condition, not properly sized, and not in a useful location or configuration to the main courthouse. Our analysis calls for the decommissioning of this combined structure.

Please see Exhibit 6 of this report.

■ Part 2 – Analysis of Building Deficiencies

The work on building deficiencies began with a meeting with Sheriff Edwards, and key staff members of the Greenville County Sheriff's Office, the City of Emporia, the court system and the Project Manager for Greenville County. A space-by-space survey of the existing facility was conducted along with a full review of the Security Assessment Report as provided by the Virginia Judicial Security Initiative; all so as to best determine and record various security/safety deficiencies and to set out the Space Needs and scope of work required/requested to remedy the stated deficiencies. This survey work, once in place and approved, forms the basis for the Space Needs/Program.

■ Part 3 – Alternative Solutions

With Space Needs/Program in place, a series of Relationship of Space Studies were formulated to guide on to the Preliminary Design. Each option shown proposes to maintain the existing courthouse as is, while providing much needed security/safety enhancements. These solutions shown through a selection of floor plan options depict an addition to the North of the existing structure. The alternative solutions were reviewed and commented on by the stakeholders and with the selection of Option 1 (and a series of adjustments), the task was set to move forward with a Preliminary Concept Design.

The Preliminary Concept Design Drawings are included here-in, and have been approved by the Sheriff and the key stakeholders as adequately addressing the overriding security enhancement needs and requirements and improvements.

■ Part 4 – Final Report Delivery

The final report in it's completed form was ready and delivered on December 30, 2014. We trust that this evaluation, analysis and proposal of alternative solutions, which includes site concept preliminary drawings, and project budget, will meet the needs and highest expectations of Greenville County. We have had great professional satisfaction in preparing the Preliminary Architectural Report.

exhibit 2

Security Assessment Report

■ **Provided By:**

Virginia Judicial Security Initiative, Dated 2/22/06